

DEMOLITION NOTES

- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WOOD PLANTER. TYPICAL OF (8).
- D2 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS ABOVE. SEE DEMOLITION FLOOR PLANS FOR ADDITIONAL INFORMATION.
- D3 RELOCATE EXISTING BENCH AS REQUIRED TO ACCOMMODATE NEW CONCRETE TREE PLANTERS.
- D4 REMOVE AND LEGALLY DISPOSE OF EXISTING METAL OVERHANG ABOVE. SEE DEMOLITION FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL INFORMATION.
- D5 INDICATES AREA TO BE DEMOLISHED. REFER TO DEMOLITION FLOOR PLAN FOR ADDITIONAL INFORMATION.

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 PROPERTY LINE.
- 2 INDICATES EXISTING FACE OF BUILDING.
- 3 INDICATES NEW CONCRETE TREE PLANTER. SEE DETAIL 16 ABOUT.
- 4 EXISTING CMU PLANTER TO REMAIN. PROTECT FROM DAMAGE.

GENERAL CONTRACTOR:



DEVELOPER:



APN: 006-173-001

THE HOLMAN BUILDING

542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO. 14146-P

PRINT DATE: 11.2.2015

DRAWN BY:

CHECKED BY:

SET ISSUED:

10.05.15 PLANNING RESUBMITTAL

11.02.15 PLANNING RESUBMITTAL

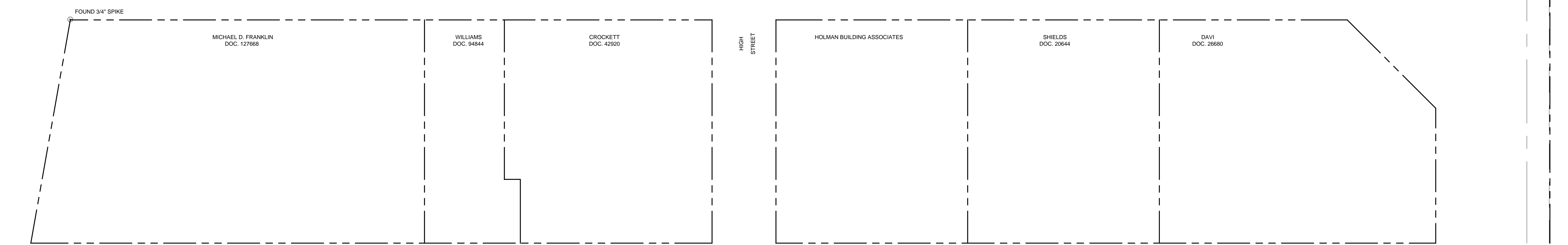
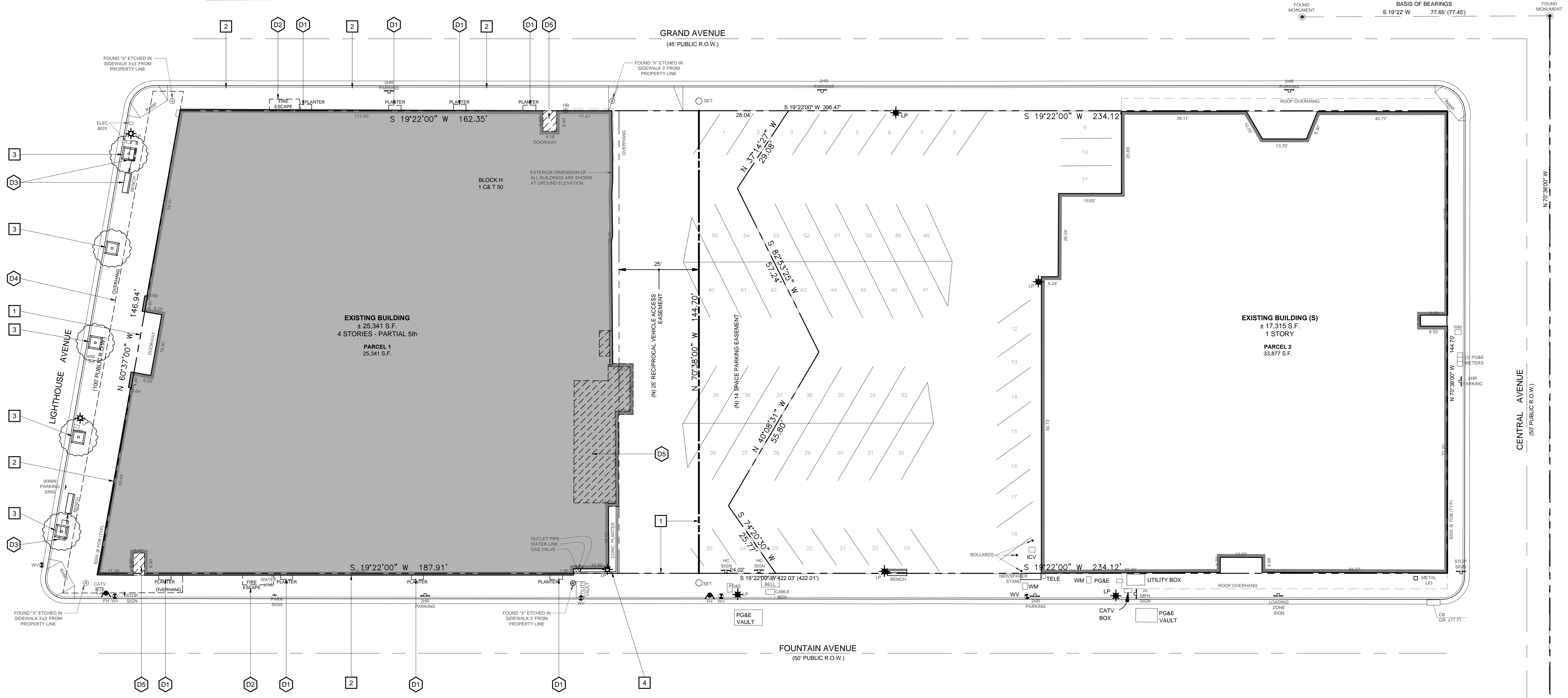
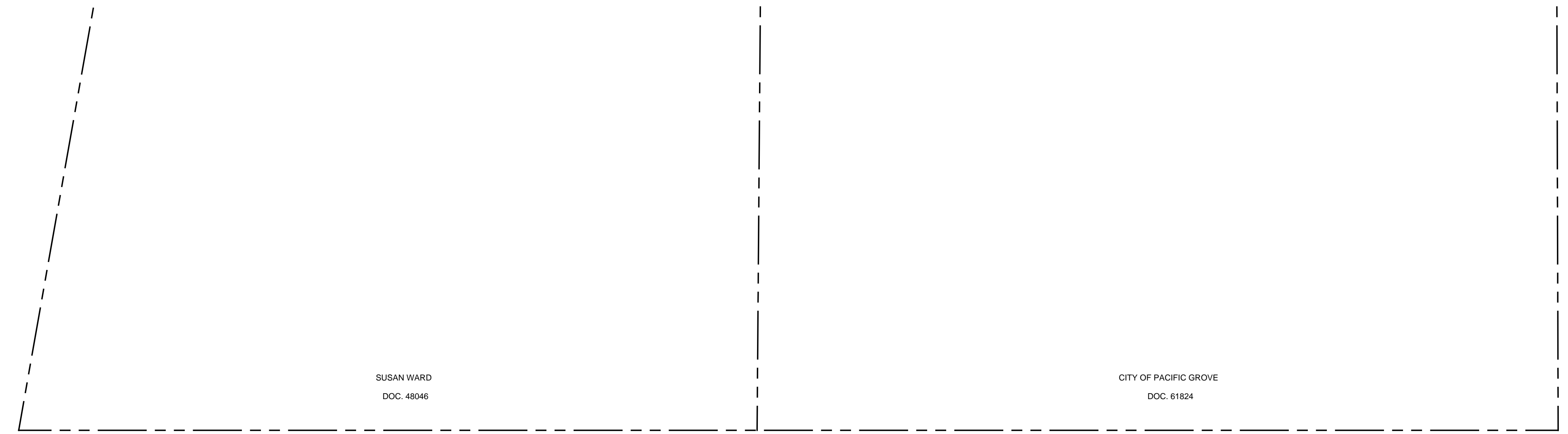
SHEET NAME:

EXISTING CONDITIONS SITE PLAN

SHEET NO.:

A100

FILE NAME: 14146-A100



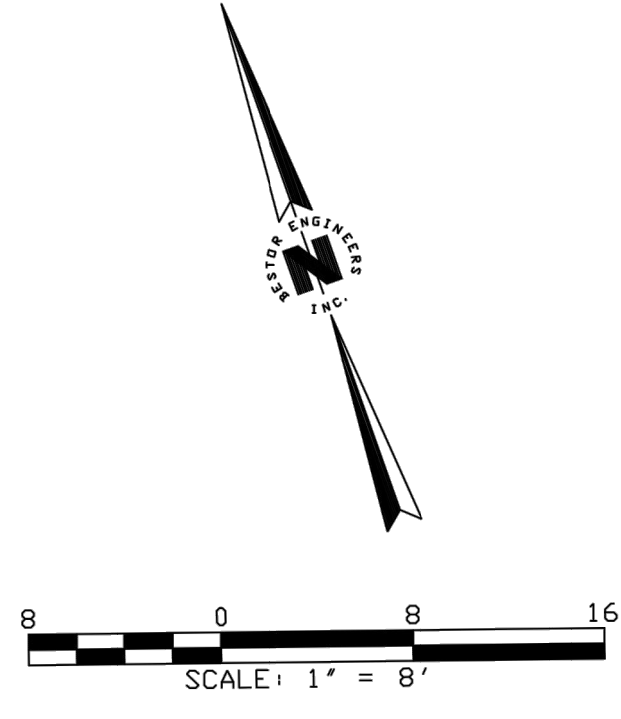
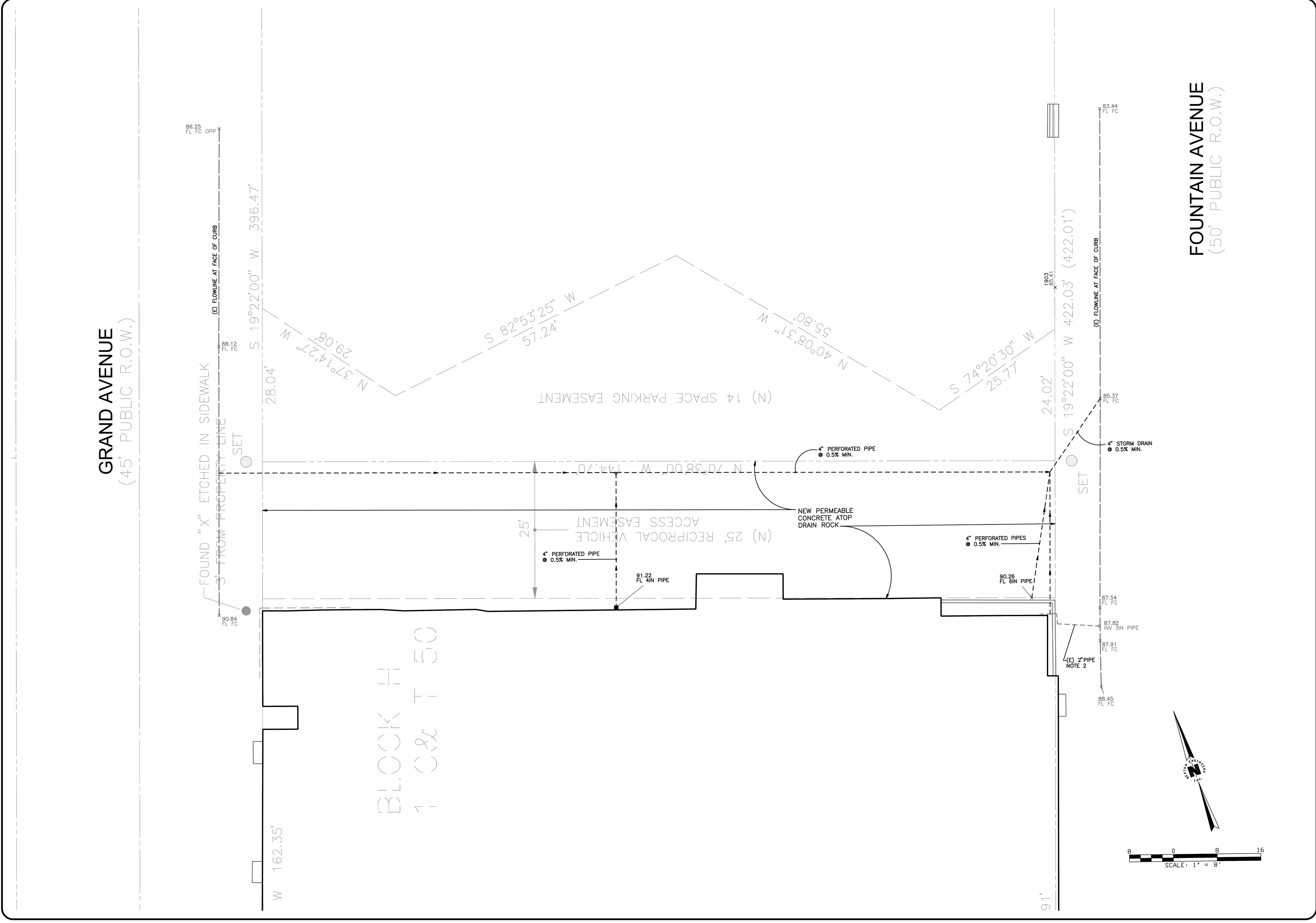
TRUE NORTH
PLAN NORTH
EXISTING CONDITIONS SITE PLAN
SCALE: 1/16"=1'-0"

GENERAL NOTES

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- 2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
- 3. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- 4. CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
- 5. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
- 6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- 7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
- 9. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.

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REVISIONS	
DESIGNED BY	
DRAWN BY	
ENGINEER	
RCE:	
DATE:	PRELIMINARY

BESTOR ENGINEERS, INC.
PRELIMINARY
 NOT FOR CONSTRUCTION

BESTOR ENGINEERS, INC.
 CIVIL ENGINEERING - SURVEYING - LAND PLANNING
 9701 BLUE LARKSPUR LANE, MONTEREY, CALIFORNIA 93940
 PH 831.373.2941 F 831.649.4118 www.bestor.com

PREPARED FOR: Gold Coast Design, Inc.
STORM DRAIN EXHIBIT
 HOLMAN CONDOMINIUM CONVERSION
 PACIFIC GROVE
 COUNTY OF MONTEREY, CALIFORNIA

SCALE:	1" = 8'
DATE:	10/29/15
SHEET:	1 OF 1
WO:	5209 04

DEMOLITION NOTES

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 - D3 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR AND DOOR FRAME.
 - D4 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW.
 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
 - D6 SAW CUT EXISTING LOADING DOCK SLAB IN THIS AREA TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
 - D7 REMOVE AND LEGALLY DISPOSE OF EXISTING RAMP.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING RAISED WOOD FRAMED FLOORING ASSEMBLY IN THIS AREA TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING COUNTER TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D10 REMOVE AND LEGALLY DISPOSE OF EXISTING SINK TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D11 REMOVE AND LEGALLY DISPOSE OF EXISTING TOILET AND TOILET PARTITION TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D12 REMOVE AND LEGALLY DISPOSE OF EXISTING URINAL TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D13 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL HUNG SINK TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D14 NOT USED.
 - D15 REMOVE & LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
 - D16 REMOVE AND LEGALLY DISPOSE OF EXISTING ROLL-UP DOOR.

KEY NOTES

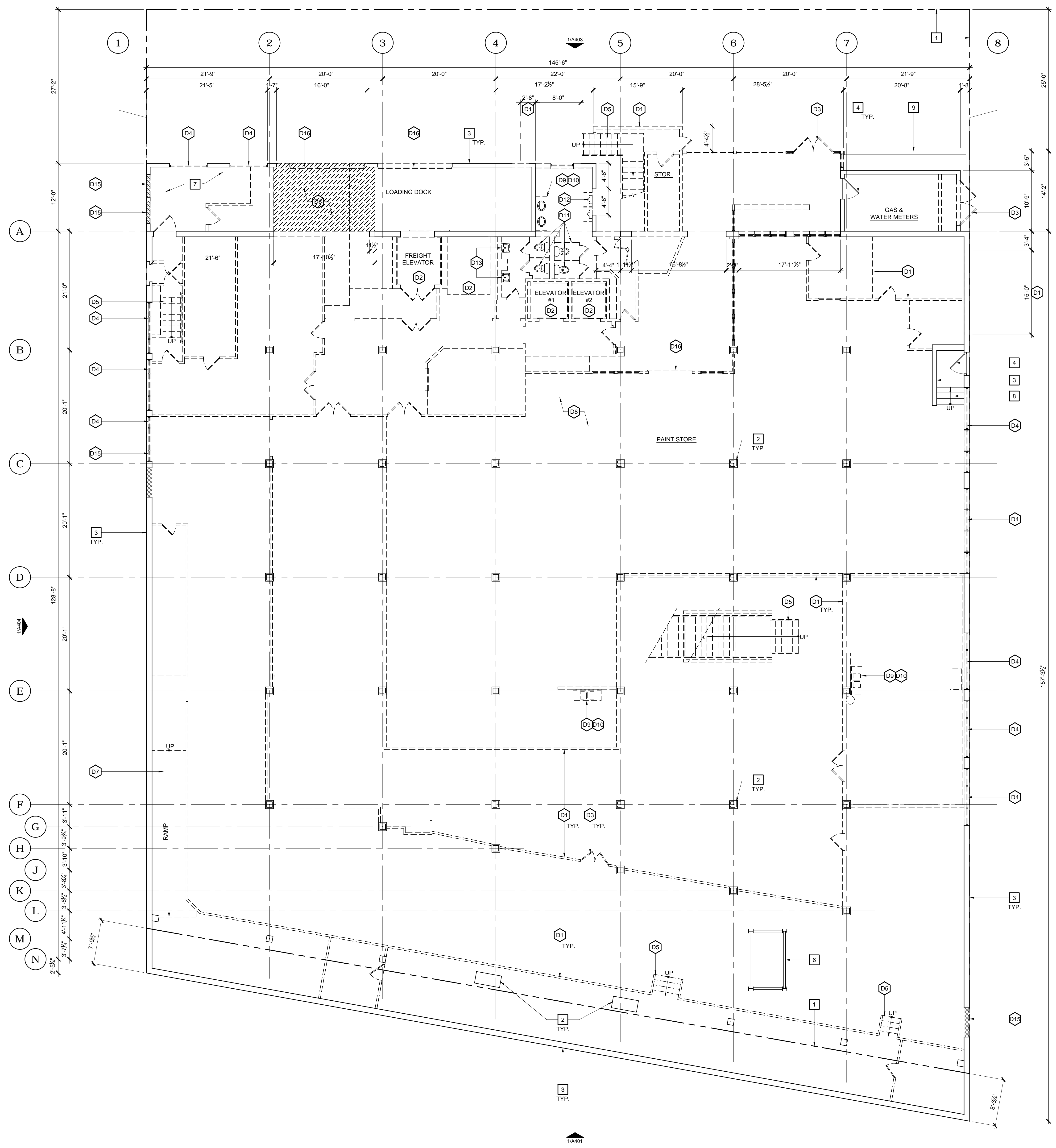
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 - 2 EXISTING COLUMN TO REMAIN INTACT - TYP. AS SHOWN.
 - 3 EXISTING WALL TO REMAIN INTACT - TYP. AS SHOWN.
 - 4 EXISTING DOOR TO REMAIN INTACT - TYP. AS SHOWN.
 - 5 EXISTING WINDOW TO REMAIN INTACT - TYP. AS SHOWN.
 - 6 EXISTING VAULT SUPPORT STEEL STRUCTURE TO REMAIN INTACT. PROTECT FROM DAMAGE.
 - 7 EXISTING CELLULAR EQUIPMENT ROOM TO BE RELOCATED - SEE NEW BASEMENT PLAN.
 - 8 EXISTING STAIRS TO REMAIN INTACT - PROTECT FROM DAMAGE.
 - 9 EXISTING CMU PLANTER TO REMAIN - PROTECT FROM DAMAGE.

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LEGEND

EXISTING WALL TO REMAIN INTACT	EXISTING WALL TO BE DEMOLISHED.
EXISTING WINDOW TO REMAIN INTACT	EXISTING WINDOW TO BE DEMOLISHED.
EXISTING DOOR TO REMAIN INTACT	EXISTING DOOR TO BE DEMOLISHED.



TRUE PLAN NORTH
NORTH
EXISTING CONDITIONS AND DEMOLITION BASEMENT FLOOR PLAN
SCALE: 1/8"=1'-0"

GENERAL CONTRACTOR:



DEVELOPER:



006-173-001

AP.N.:

THE HOLMAN BUILDING
542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO. 14146-P

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SET ISSUED: 10.05.15 PLANNING RESUBMITTAL
11.02.15 PLANNING RESUBMITTAL

SHEET NAME: DEMOLITION FIRST FLOOR PLAN

SHEET NO.: D201

FILE NAME: 14146-D201

DEMOLITION NOTES

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 - D3 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR AND DOOR FRAME.
 - D4 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW.
 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT SYSTEM.
 - D7 REMOVE AND LEGALLY DISPOSE OF EXISTING METAL OVERHANG.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING RAISED WOOD FRAMED FLOORING ASSEMBLY IN THIS AREA TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING COUNTER TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D10 REMOVE AND LEGALLY DISPOSE OF EXISTING SINK TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D11 REMOVE AND LEGALLY DISPOSE OF EXISTING TOILET TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D12 REMOVE AND LEGALLY DISPOSE OF EXISTING JANITOR SINK.
 - D13 REMOVE AND LEGALLY DISPOSE OF EXISTING LOW BRICK WALL TO ACCOMMODATE NEW WORK, TYP. AS SHOWN.
 - D14 REMOVE AND LEGALLY DISPOSE OF EXISTING ROOF.
 - D15 REMOVE AND LEGALLY DISPOSE OF EXISTING FLOORING IN THIS AREA.

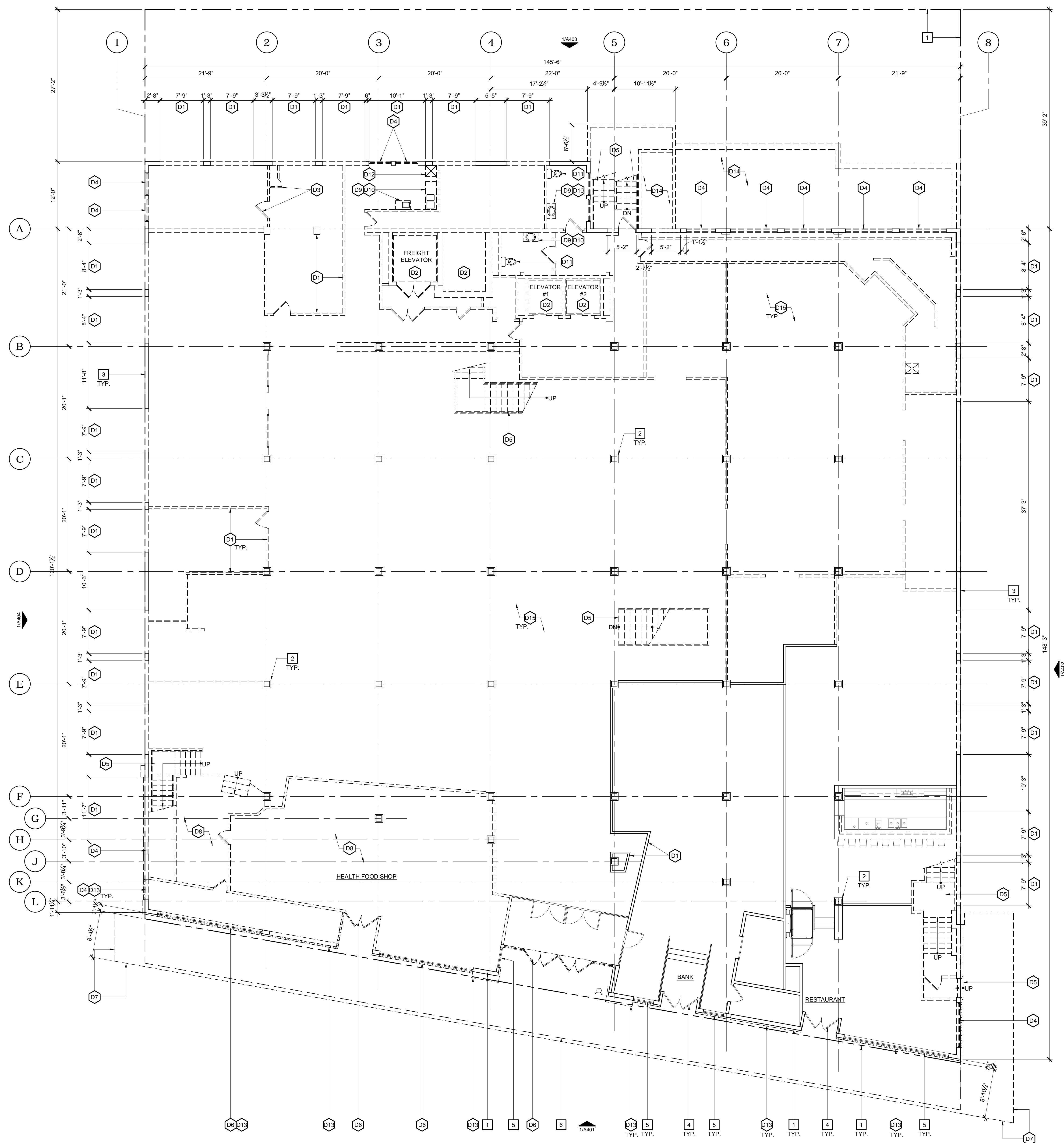
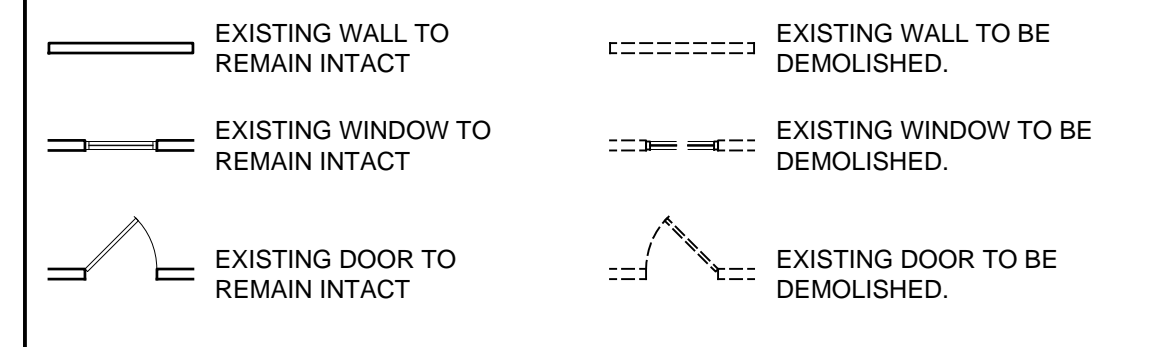
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 - 6 DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL EXTERIOR WALL BELOW.

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LEGEND



TRUE PLAN NORTH
EXISTING CONDITIONS AND DEMOLITION FIRST FLOOR PLAN
 SCALE: 1/8"=1'-0"

DEMOLITION NOTES

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 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING RAILING.
 - D7 REMOVE AND LEGALLY DISPOSE OF EXISTING FLOORING IN THIS AREA TO ACCOMMODATE NEW WORK.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING GLASS BLOCK AT EXISTING WINDOW OPENING TO ACCOMMODATE NEW WORK.

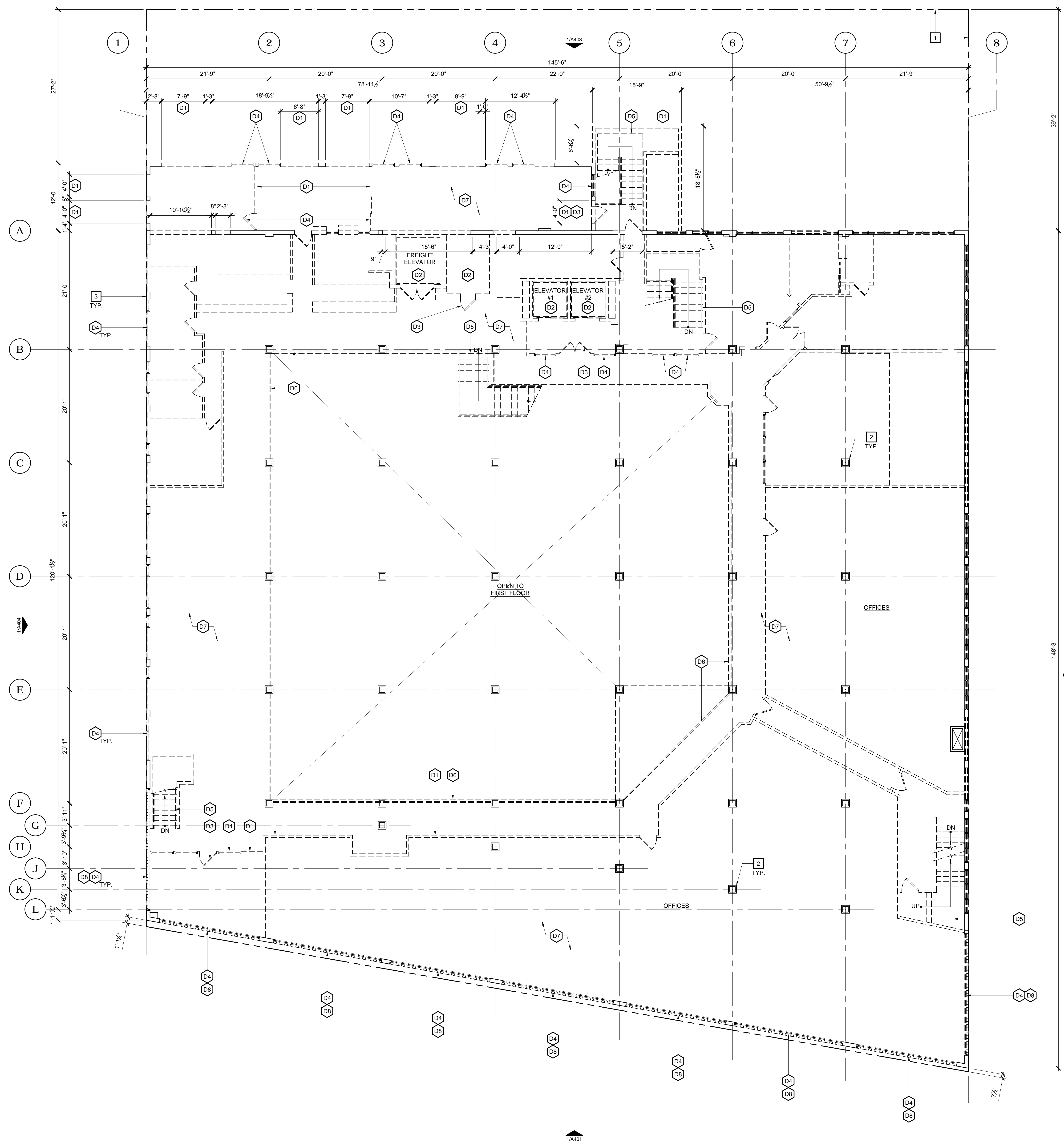
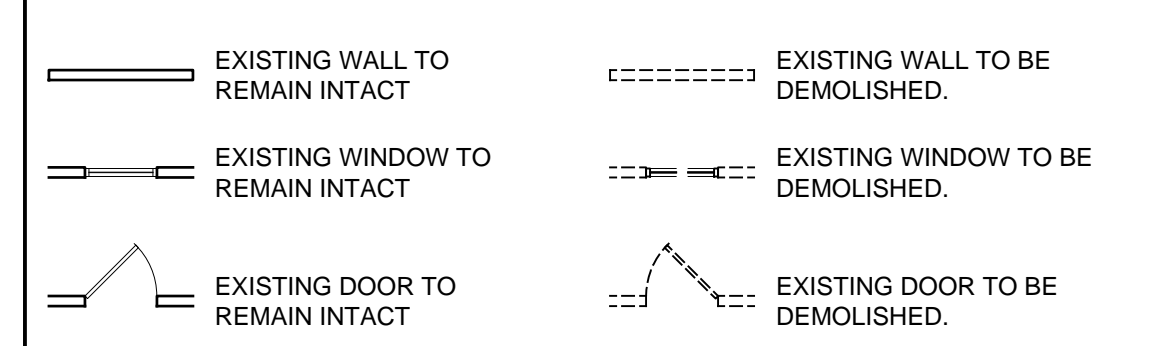
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 - 6 --

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LEGEND



PLAN NORTH
TRUE NORTH
EXISTING CONDITIONS AND
DEMOLITION SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

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DEVELOPER:



006-173-001

AP.N.:

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10.05.15 PLANNING RESUBMITTAL

11.02.15 PLANNING RESUBMITTAL

SHEET NAME:

DEMOLITION THIRD FLOOR PLAN

SHEET NO.:

D203

FILE NAME: 14146-D203

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 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING ROOF PARAPET WALL.
 - D7 REMOVE AND LEGALLY DISPOSE OF EXISTING ROOFING.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING GLASS BLOCK AT EXISTING WINDOW OPENING TO ACCOMMODATE NEW WORK.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING FLOORING FINISH IN THIS AREA TO ACCOMMODATE NEW WORK.
 - D10 REMOVE AND LEGALLY DISPOSE OF EXISTING BUTTERFLY STAINED GLASS WINDOW.
 - D11 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS.

KEY NOTES

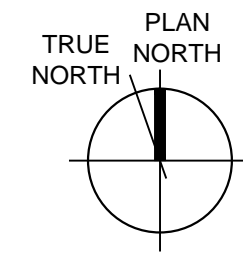
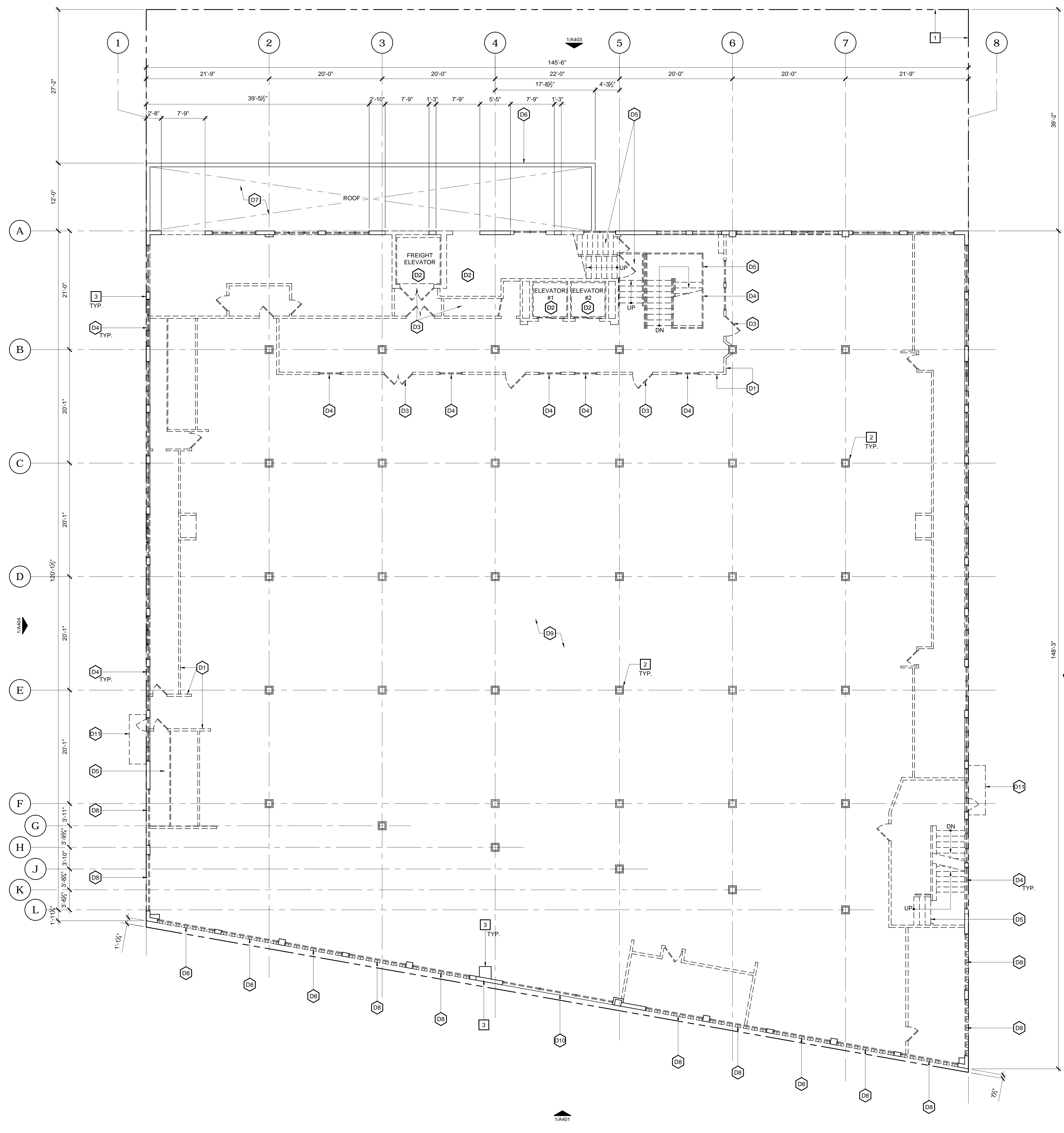
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 - 6 --

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4. CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
5. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
9. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
10. CONTRACTOR TO ENSURE THAT EXISTING UTILITIES (GAS, ELECTRIC OR PHONE, ETC.) ACCESS FOR TENANT & CUSTOMER USE, MECHANICAL VENTILATION, HEATING AND/OR COOLING SYSTEMS ARE PROVIDED TO ALL EXISTING TENANTS IN THE BUILDING WHERE WORK WILL OCCUR (AS WELL AS IN BUILDING WHERE WORK WILL NOT OCCUR).
11. CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE BUSINESS THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE AND HOURS OF CONSTRUCTION WITH BUILDING OWNER PRIOR TO WORK.

LEGEND

EXISTING WALL TO REMAIN INTACT	EXISTING WALL TO BE DEMOLISHED.
EXISTING WINDOW TO REMAIN INTACT	EXISTING WINDOW TO BE DEMOLISHED.
EXISTING DOOR TO REMAIN INTACT	EXISTING DOOR TO BE DEMOLISHED.



EXISTING CONDITIONS AND DEMOLITION THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

DEMOLITION NOTES

- THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL INCLUDING BUT NOT LIMITED TO GYP. BOARD, STUDS, AND BASE TO ACCOMMODATE NEW WORK.
 - D2 REMOVE & LEGALLY DISPOSE OF EXISTING ELEVATOR AND RELATED ELEVATOR APPURTENANCES TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
 - D3 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR AND DOOR FRAME.
 - D4 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW.
 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING TOILET TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D7 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL HUNG SINK TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING GLASS BLOCK AT EXISTING WINDOW OPENING TO ACCOMMODATE NEW WORK.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING FLOORING FINISH IN THIS AREA TO ACCOMMODATE NEW WORK.
 - D10 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS.

KEY NOTES

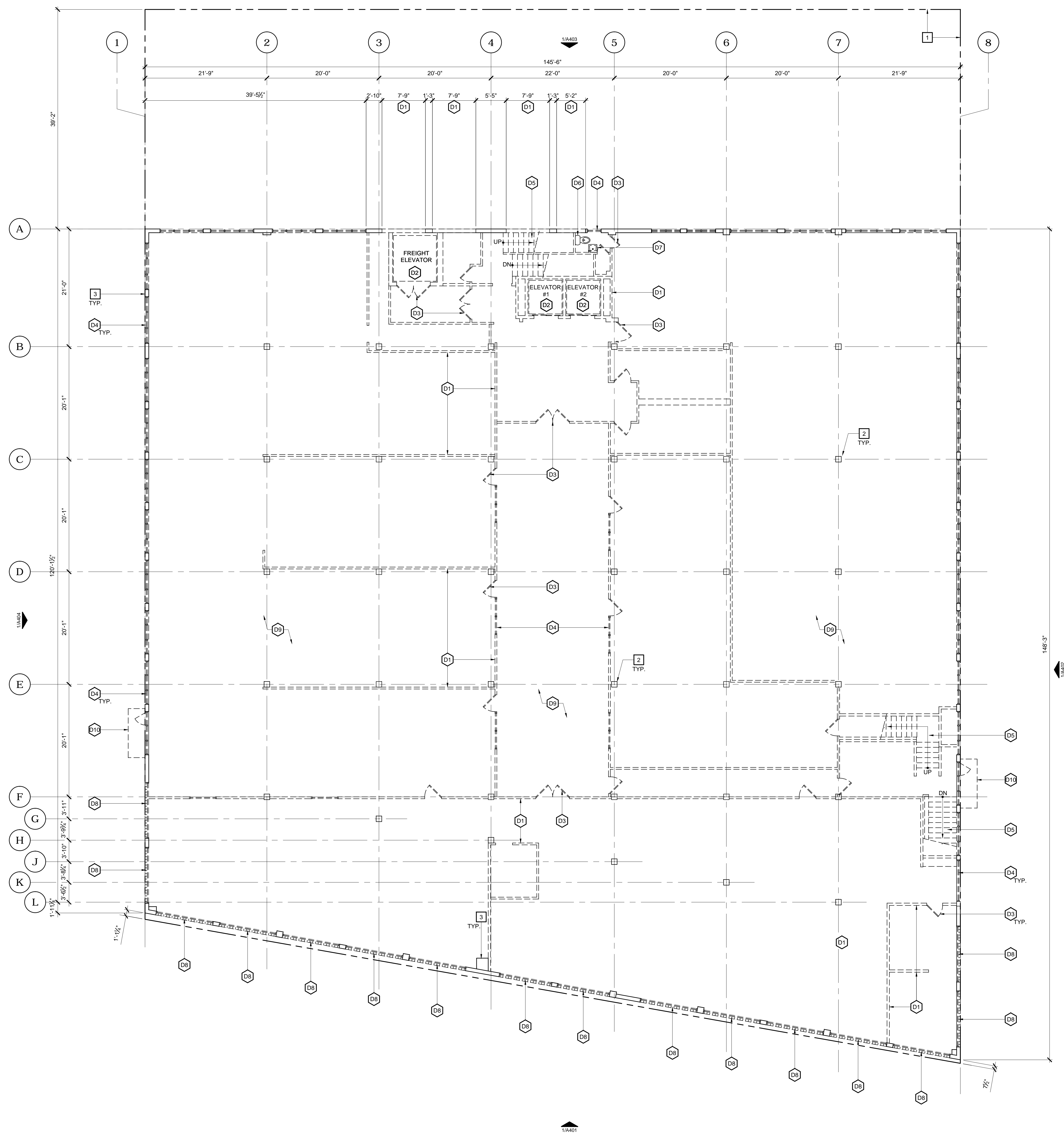
- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 PROPERTY LINE.
 - 2 EXISTING COLUMN TO REMAIN INTACT - TYP. AS SHOWN.
 - 3 EXISTING WALL TO REMAIN INTACT - TYP. AS SHOWN.

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
3. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
4. CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
5. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
9. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
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11. CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE BUSINESS THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE AND HOURS OF CONSTRUCTION WITH BUILDING OWNER PRIOR TO WORK.

LEGEND

EXISTING WALL TO REMAIN INTACT	EXISTING WALL TO BE DEMOLISHED.
EXISTING WINDOW TO REMAIN INTACT	EXISTING WINDOW TO BE DEMOLISHED.
EXISTING DOOR TO REMAIN INTACT	EXISTING DOOR TO BE DEMOLISHED.



PLAN NORTH
TRUE NORTH
EXISTING CONDITIONS AND DEMOLITION FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"

DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL INCLUDING BUT NOT LIMITED TO GYP. BOARD, STUDS, AND BASE TO ACCOMMODATE NEW WORK.
- D2 REMOVE & LEGALLY DISPOSE OF EXISTING ELEVATOR AND RELATED ELEVATOR APPURTENANCES TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
- D3 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR AND DOOR FRAME.
- D4 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW.
- D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
- D6 REMOVE AND LEGALLY DISPOSE OF EXISTING COMMUNICATION TOWER ABOVE.
- D7 REMOVE AND LEGALLY DISPOSE OF EXISTING WOOD DECK.
- D8 REMOVE AND LEGALLY DISPOSE OF EXISTING RAISED WOOD FRAMED FLOORING ASSEMBLY TO ACCOMMODATE NEW WORK.
- D9 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING LOWER CABINETS & UPPER SHELVING.
- D10 REMOVE AND LEGALLY DISPOSE OF EXISTING SINK.
- D11 REMOVE AND LEGALLY DISPOSE OF EXISTING TOILET.
- D12 REMOVE AND LEGALLY DISPOSE OF EXISTING BATHTUB.
- D13 REMOVE & LEGALLY DISPOSE OF EXISTING 9'-2" HIGH ROOFTOP EQUIPMENT SCREEN.
- D14 REMOVE & LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS.
- D15 EXISTING CELLULAR ANTENNA TO BE RELOCATED - SEE NEW ROOF PLAN FOR LOCATION.
- D16 EXISTING CELLULAR EQUIPMENT TO BE RELOCATED TO EITHER CELLULAR EQUIPMENT ROOM ON ROOF OR IN BASEMENT, TBD.
- D17 REMOVE AND LEGALLY DISPOSE OF EXISTING CELLULAR ANTENNA.

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

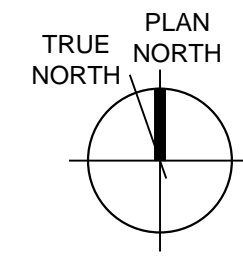
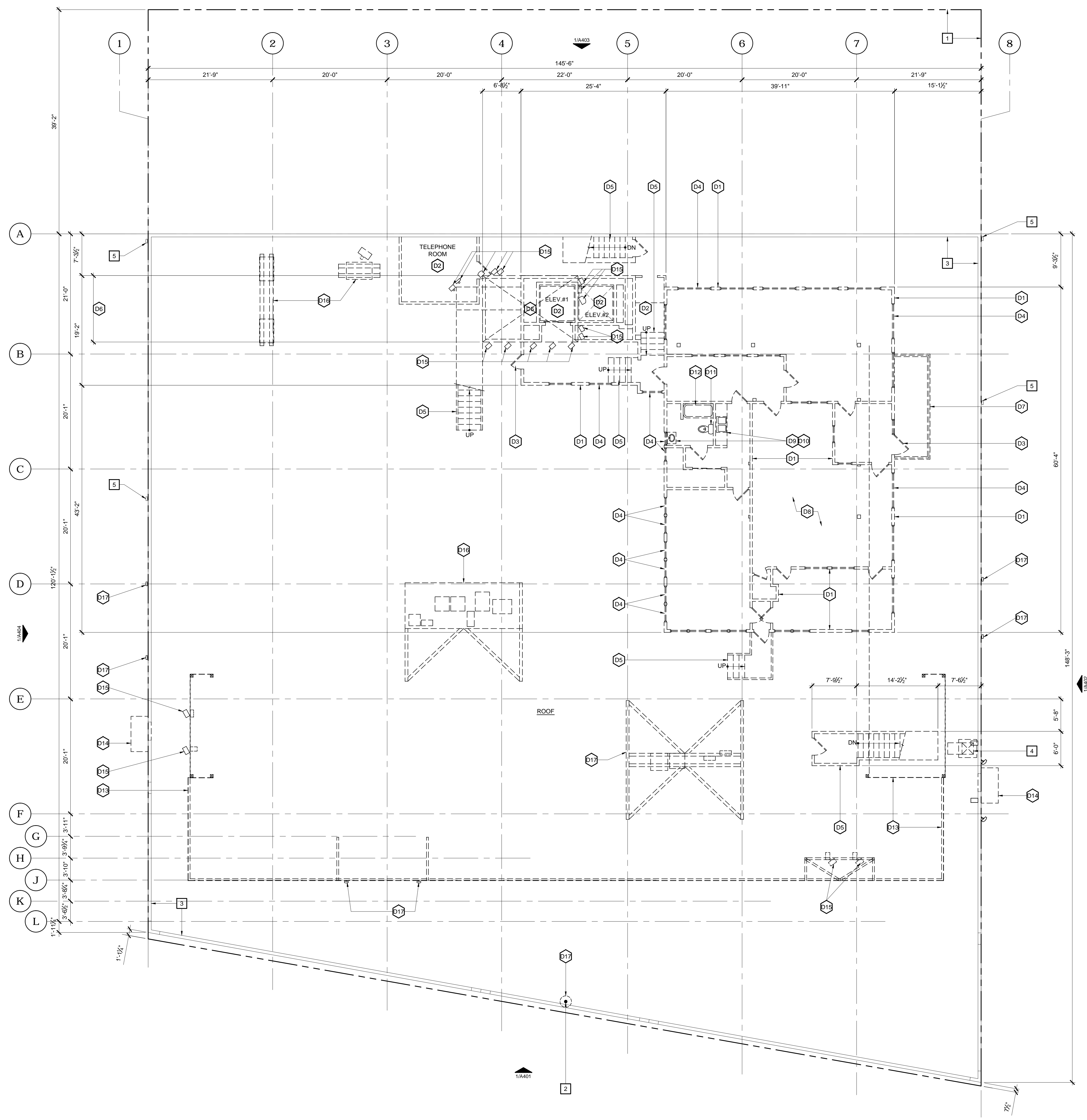
- 1 PROPERTY LINE.
- 2 EXISTING FLAG POLE TO REMAIN INTACT. PROTECT FROM DAMAGE.
- 3 EXISTING ROOF PARAPET WALL.
- 4 EXISTING EXHAUST FAN TO BE RELOCATED PER NEW PENTHOUSE FLOOR PLAN.
- 5 EXISTING WALL MOUNTED CELLULAR ANTENNA TO REMAIN.

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
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LEGEND

- EXISTING PARAPET WALL TO REMAIN INTACT
- EXISTING WALL TO BE DEMOLISHED.
- EXISTING WINDOW TO BE DEMOLISHED.
- EXISTING DOOR TO BE DEMOLISHED.



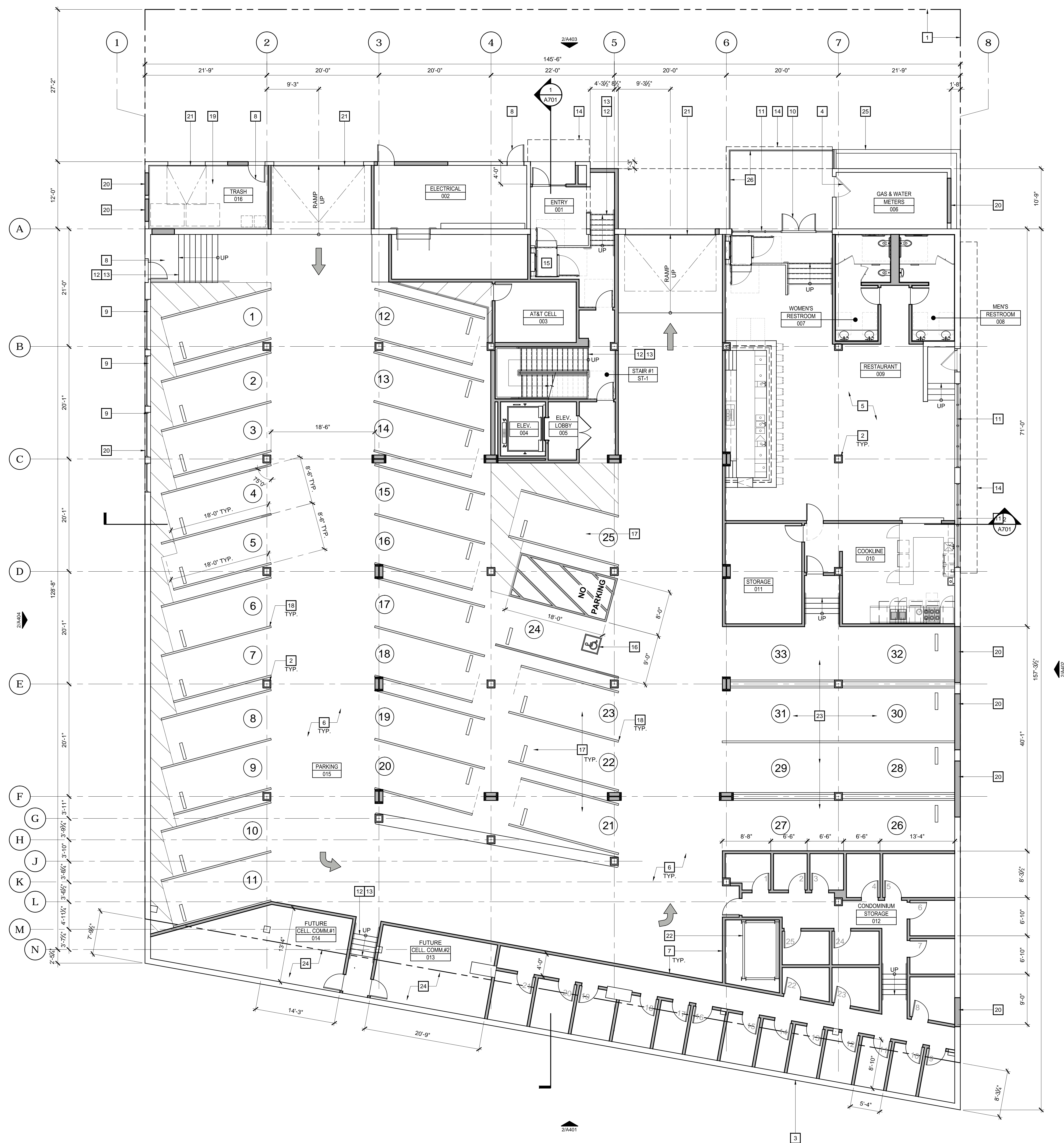
EXISTING CONDITIONS AND
DEMOLITION ROOF/ PENTHOUSE FLOOR PLAN
SCALE: 1/8"=1'-0"

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- INDICATES EXISTING PROPERTY LINE.
 - INDICATES EXISTING STRUCTURAL COLUMN TO REMAIN INTACT. TYP. AS SHOWN.
 - INDICATES EXISTING WALL TO REMAIN INTACT. TYP. AS SHOWN.
 - INDICATES EXISTING DOOR TO REMAIN INTACT. TYP. AS SHOWN.
 - EXISTING RAISED FLOOR TO REMAIN INTACT.
 - EXISTING CONCRETE PARKING LOT AND/OR DRIVEWAY.
 - INDICATES NEW WALL. TYP. AS SHOWN.
 - INDICATES NEW DOOR. TYP. AS SHOWN.
 - INDICATES NEW WINDOW. TYP. AS SHOWN.
 - NEW ALUMINUM STOREFRONT DOOR TO MATCH EXISTING.
 - NEW ALUMINUM STOREFRONT WINDOW TO MATCH EXISTING.
 - NEW STAIRS.
 - NEW HANDRAIL.
 - NEW AWNING ABOVE.
 - NEW STAIR LIFT.
 - NEW VAN ACCESSIBLE PARKING STALL AND ACCESS AISLE.
 - NEW STANDARD ACCESSIBLE PARKING STALL AND ACCESS AISLE.
 - NEW 4" WIDE PAINTED PARKING STALL STRIPING PER CITY OF PACIFIC GROVE STANDARDS.
 - NEW TRASH / RECYCLE ENCLOSURE.
 - INFILL EXISTING OPENINGS. MATCH ADJACENT WALL FINISH.
 - NEW ROLL-UP DOOR.
 - EXISTING VAULT SUPPORT STEEL STRUCTURE TO REMAIN INTACT. PROTECT FROM DAMAGE.
 - NEW STANDARD TANDEM PARKING STALLS.
 - NEW LOCATION OF CELLULAR EQUIPMENT RELOCATED FROM EITHER ROOF OR THIS LEVEL. TBD.
 - EXISTING CMU PLANTER TO REMAIN. PROTECT FROM DAMAGE.
 - NEW METAL RAILING.

LEGEND

- EXISTING WALL TO REMAIN INTACT
- NEW WALL
- NEW WINDOW
- NEW DOOR
- EXISTING DOOR TO REMAIN INTACT



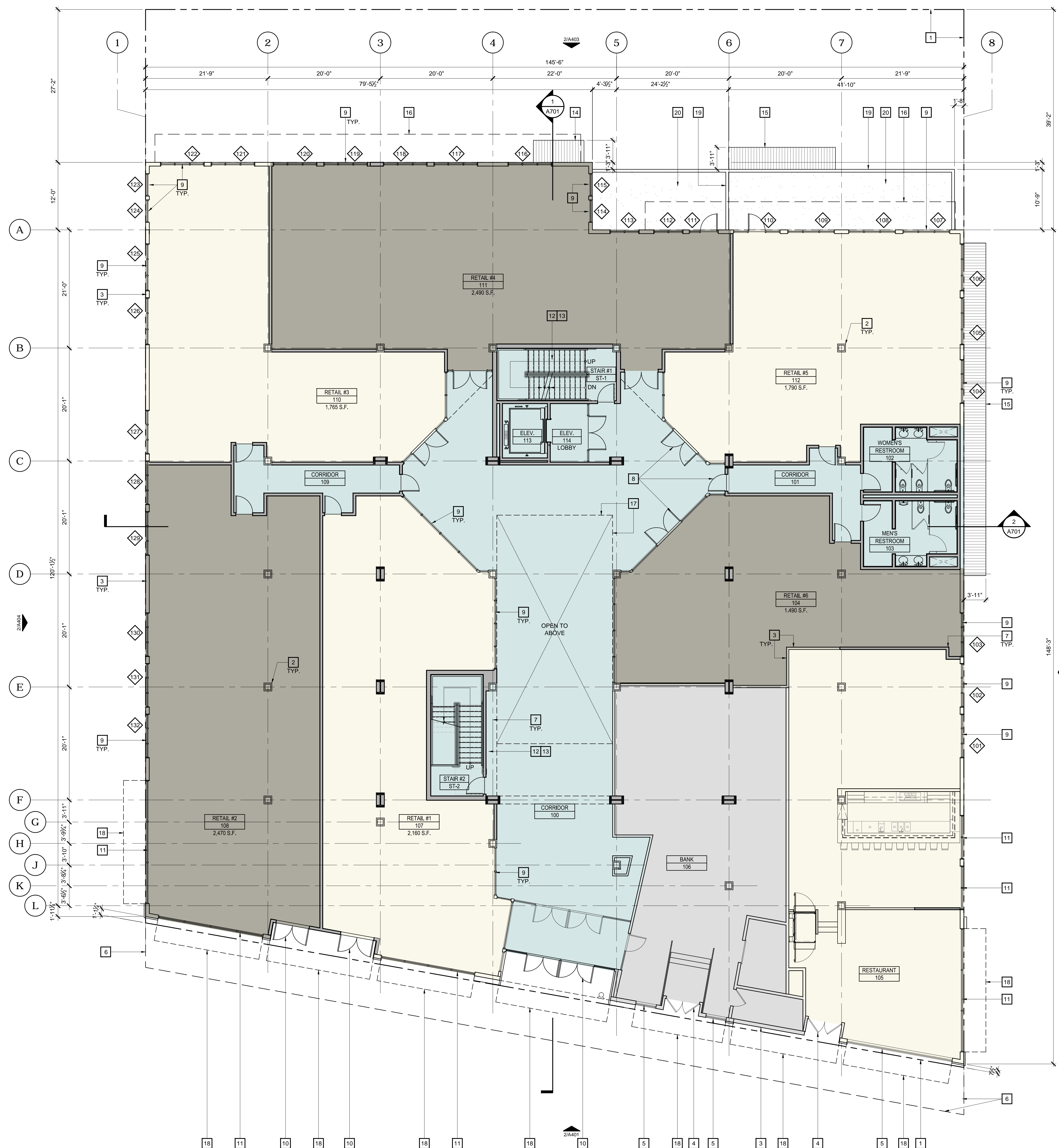
TRUE PLAN NORTH
BASEMENT FLOOR PLAN
SCALE: 1/8"=1'-0"

KEY NOTES

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 - 2 INDICATES EXISTING STRUCTURAL COLUMN TO REMAIN INTACT. TYP. AS SHOWN.
 - 3 INDICATES EXISTING WALL TO REMAIN INTACT. TYP. AS SHOWN.
 - 4 INDICATES EXISTING DOOR TO REMAIN INTACT. TYP. AS SHOWN.
 - 5 INDICATES EXISTING WINDOW TO REMAIN INTACT. TYP. AS SHOWN.
 - 6 DASHED LINE INDICATES EXTENTS OF BASEMENT EXISTING EXTERIOR WALL BELOW.
 - 7 INDICATES NEW WALL. TYP. AS SHOWN.
 - 8 INDICATES NEW DOOR. TYP. AS SHOWN.
 - 9 INDICATES NEW ALUMINUM WINDOW. TYP. AS SHOWN.
 - 10 NEW ALUMINUM STOREFRONT DOORS TO MATCH EXISTING.
 - 11 NEW ALUMINUM STOREFRONT WINDOW TO MATCH EXISTING.
 - 12 NEW STAIRS.
 - 13 NEW HANDRAIL.
 - 14 NEW METAL AWNING.
 - 15 NEW RETRACTABLE CANVAS AWNING.
 - 16 INDICATES EXTENT OF BALCONY WALL ABOVE.
 - 17 DASHED LINE INDICATES NEW SOFFIT ABOVE.
 - 18 NEW AWNING ABOVE.
 - 19 NEW PARAPET WALL.
 - 20 NEW ROOF DECK ASSEMBLY.



LEGEND

- EXISTING WALL TO REMAIN INTACT
- NEW WALL
- EXISTING WINDOW
- NEW WINDOW
- NEW DOOR.
- EXISTING DOOR TO REMAIN INTACT



PLAN NORTH
TRUE NORTH
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION HEREIN IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION OF ANY METHOD OR IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

GENERAL CONTRACTOR:

 DEVELOPER:


AP.N.:
 006-173-001

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

JOB NO.
14146-P
 PRINT DATE: 11.2.2015
 DRAWN BY: AGL/JJ
 CHECKED BY: KT/HR
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
SECOND FLOOR PLAN
 SHEET NO.:



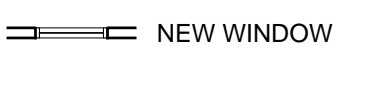
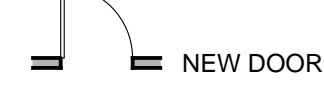
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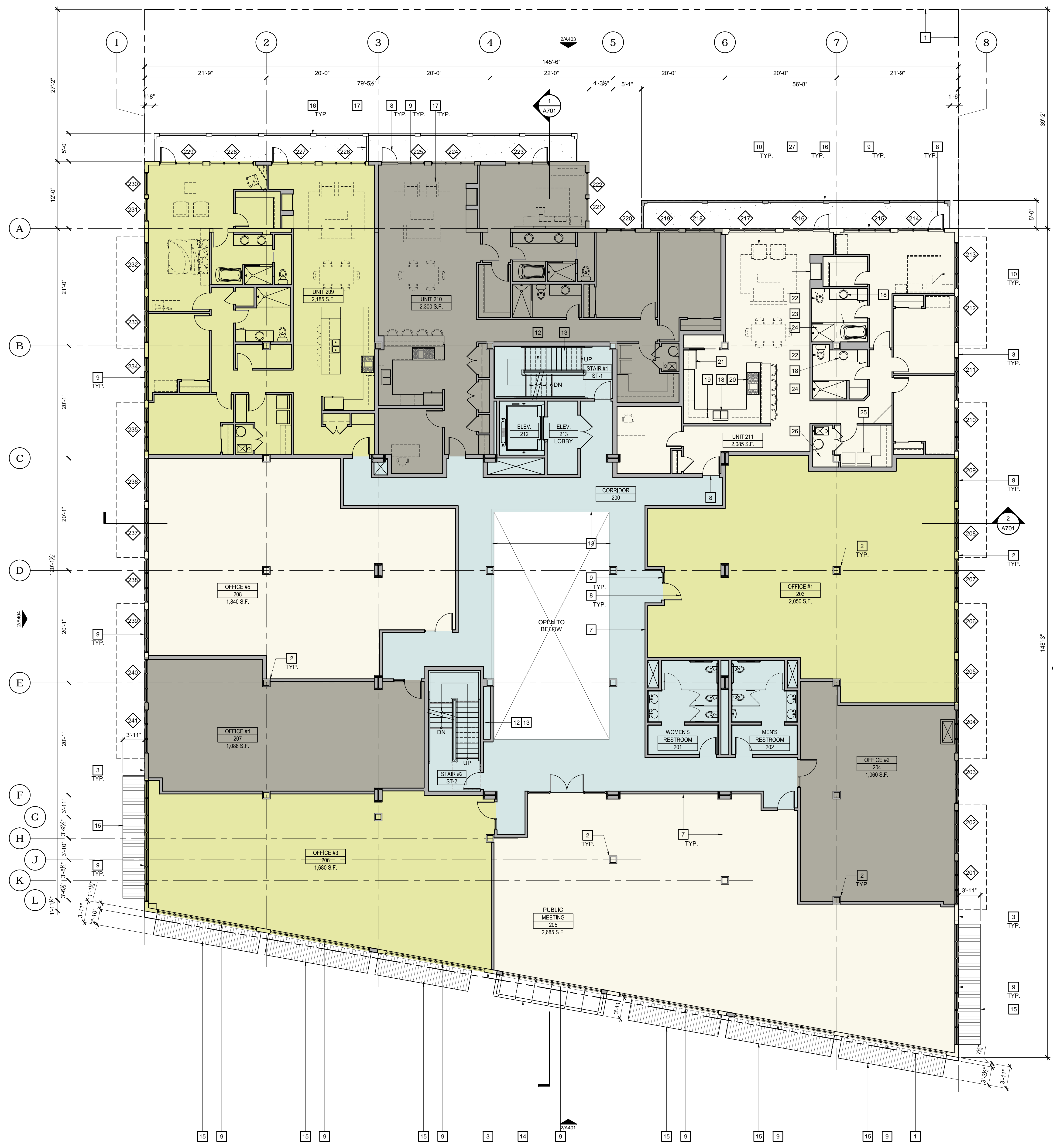
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- 1 INDICATES EXISTING PROPERTY LINE.
- 2 INDICATES EXISTING STRUCTURAL COLUMN TO REMAIN INTACT. TYP. AS SHOWN.
- 3 INDICATES EXISTING WALL TO REMAIN INTACT. TYP. AS SHOWN.
- 4 NOT USED.
- 5 NOT USED.
- 6 NOT USED.
- 7 INDICATES NEW WALL. TYP. AS SHOWN.
- 8 INDICATES NEW DOOR. TYP. AS SHOWN.
- 9 INDICATES NEW ALUMINUM WINDOW. TYP. AS SHOWN.
- 10 FURNITURE SHOWN FOR REFERENCE ONLY. TYP. AS SHOWN.
- 11 NOT USED.
- 12 NEW STAIRS.
- 13 NEW HANDRAIL.
- 14 NEW METAL AWNING.
- 15 NEW RETRACTABLE CANVAS AWNING.
- 16 NEW BALCONY.
- 17 NEW BALCONY PARTITION LOW WALL.
- 18 NEW SINK. TYP. AS SHOWN.
- 19 NEW UPPER AND LOWER CASEWORK. TYP. AS SHOWN.
- 20 NEW RANGE. TYP. AS SHOWN.
- 21 NEW REFRIGERATOR. TYP. AS SHOWN.
- 22 NEW TOILET. TYP. AS SHOWN.
- 23 NEW BATHTUB. TYP. AS SHOWN.
- 24 NEW SHOWER. TYP. AS SHOWN.
- 25 NEW WASHER/DRYER. TYP. AS SHOWN.
- 26 NEW FURNACE/WATER HEATER. TYP. AS SHOWN.
- 27 NEW FIREPLACE. TYP. AS SHOWN.

LEGEND

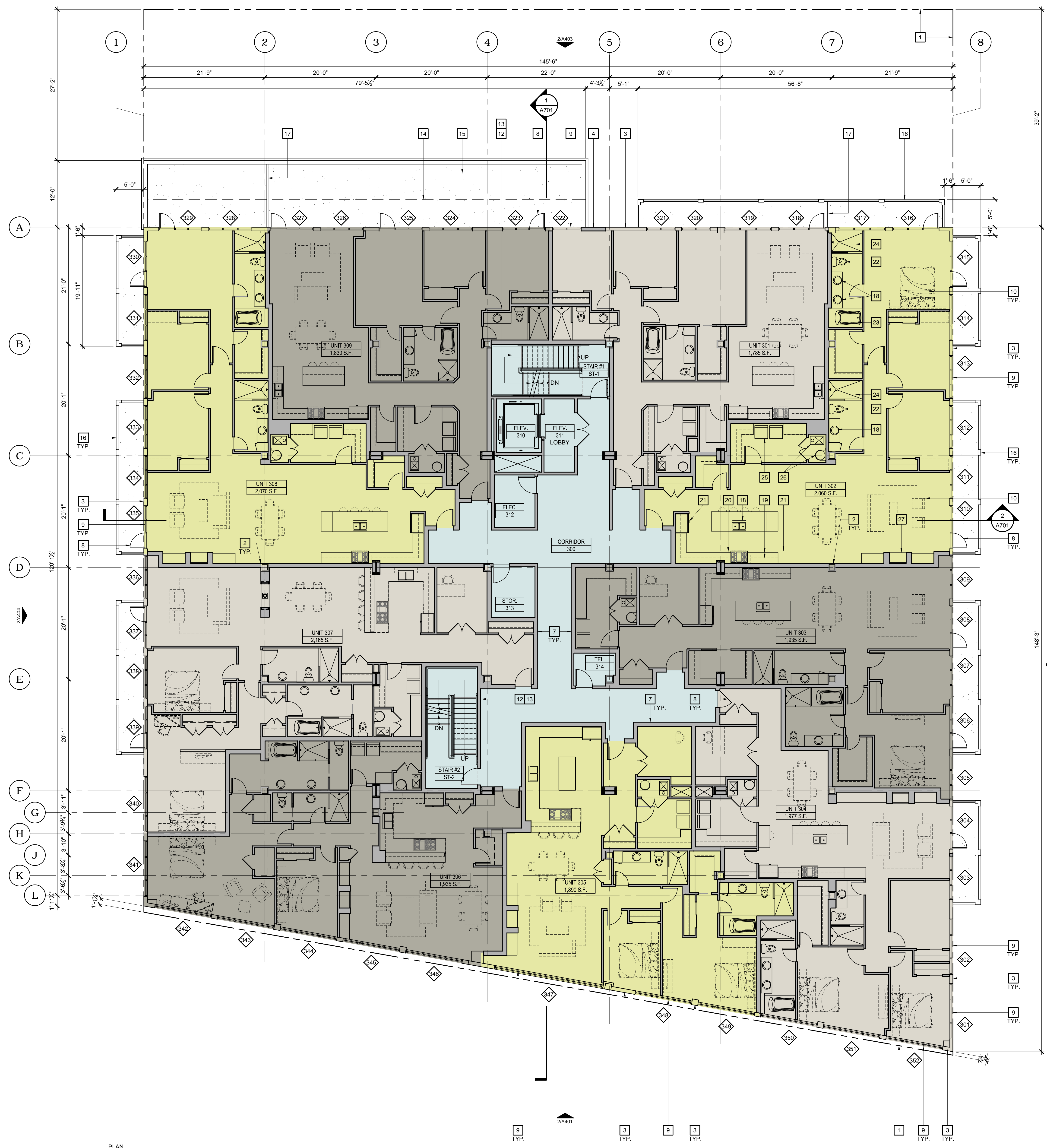
-  EXISTING WALL TO REMAIN INTACT
-  NEW WALL
-  NEW WINDOW
-  NEW DOOR



TRUE PLAN NORTH
SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"

KEY NOTES

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 - INDICATES EXISTING WALL TO REMAIN INTACT. TYP. AS SHOWN.
 - INFILL EXISTING OPENING(S) WHERE OCCURS. MATCH ADJACENT WALL FINISH.
 - NOT USED.
 - NOT USED.
 - INDICATES NEW WALL. TYP. AS SHOWN.
 - INDICATES NEW DOOR. TYP. AS SHOWN.
 - INDICATES NEW ALUMINUM WINDOW. TYP. AS SHOWN.
 - FURNITURE SHOWN FOR REFERENCE ONLY. TYP. AS SHOWN.
 - NOT USED.
 - NEW STAIRS.
 - NEW HANDRAIL.
 - INDICATES BALCONY ABOVE.
 - NEW ROOF DECK.
 - NEW BALCONY.
 - NEW BALCONY PARTITION LOW WALL.
 - NEW SINK. TYP. AS SHOWN.
 - NEW UPPER AND LOWER CASEWORK. TYP. AS SHOWN.
 - NEW RANGE. TYP. AS SHOWN.
 - NEW REFRIGERATOR. TYP. AS SHOWN.
 - NEW TOILET. TYP. AS SHOWN.
 - NEW BATHTUB. TYP. AS SHOWN.
 - NEW SHOWER. TYP. AS SHOWN.
 - NEW WASHER/DRYER. TYP. AS SHOWN.
 - NEW FURNACE/WATER HEATER. TYP. AS SHOWN.
 - NEW FIREPLACE. TYP. AS SHOWN.



TRUE PLAN NORTH
THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

LEGEND

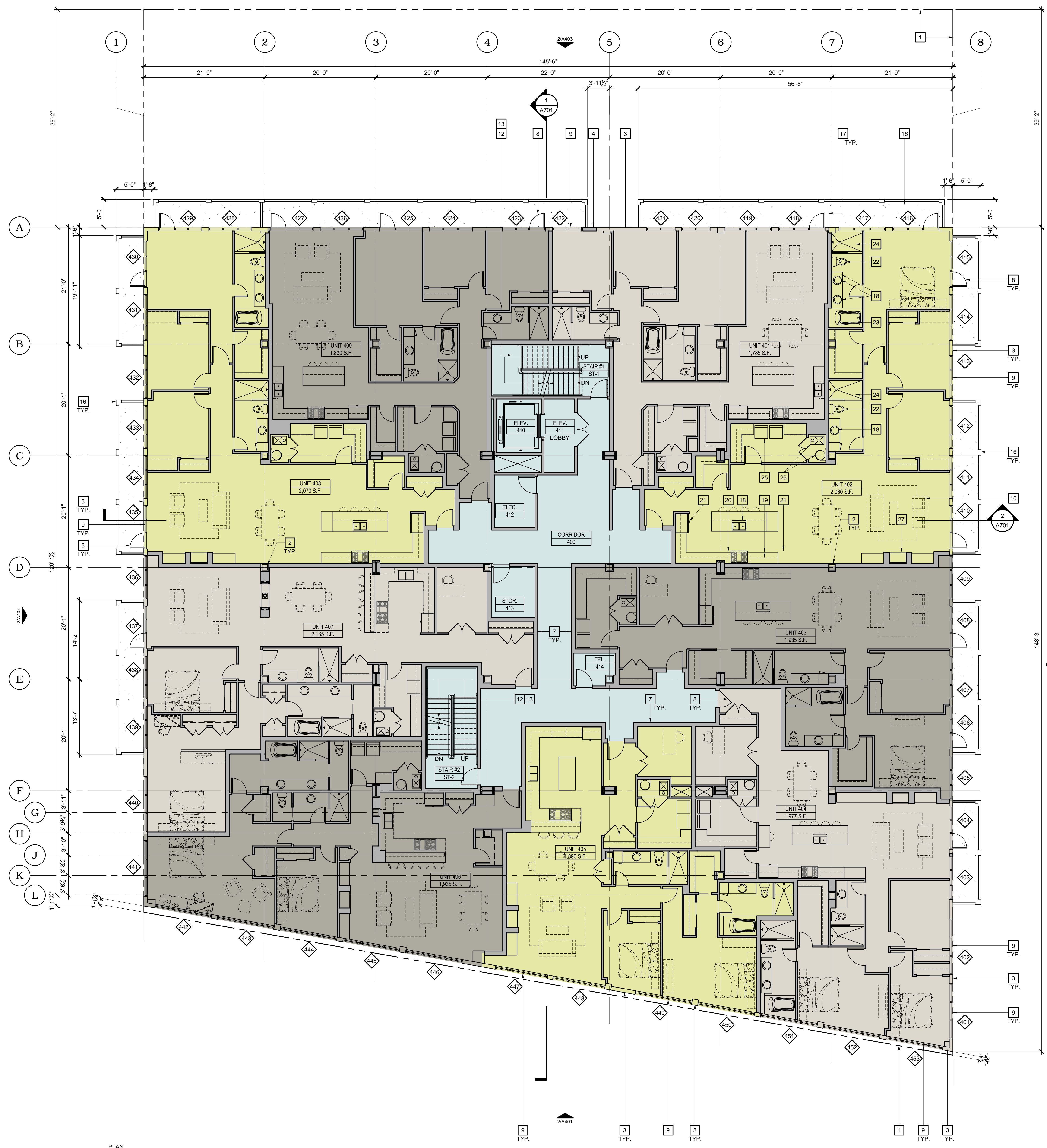
- EXISTING WALL TO REMAIN INTACT
- NEW WALL
- NEW WINDOW
- NEW DOOR

KEY NOTES

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 - 3 INDICATES EXISTING WALL TO REMAIN INTACT. TYP. AS SHOWN.
 - 4 INFILL EXISTING OPENING(S) WHERE OCCURS. MATCH ADJACENT WALL FINISH.
 - 5 NOT USED.
 - 6 NOT USED.
 - 7 INDICATES NEW WALL. TYP. AS SHOWN.
 - 8 INDICATES NEW DOOR. TYP. AS SHOWN.
 - 9 INDICATES NEW ALUMINUM WINDOW. TYP. AS SHOWN.
 - 10 FURNITURE SHOWN FOR REFERENCE ONLY. TYP. AS SHOWN.
 - 11 NOT USED.
 - 12 NEW STAIRS.
 - 13 NEW HANDRAIL.
 - 14 NOT USED.
 - 15 NOT USED.
 - 16 NEW BALCONY.
 - 17 NEW BALCONY PARTITION LOW WALL.
 - 18 NEW SINK. TYP. AS SHOWN.
 - 19 NEW UPPER AND LOWER CASEWORK. TYP. AS SHOWN.
 - 20 NEW RANGE. TYP. AS SHOWN.
 - 21 NEW REFRIGERATOR. TYP. AS SHOWN.
 - 22 NEW TOILET. TYP. AS SHOWN.
 - 23 NEW BATHTUB. TYP. AS SHOWN.
 - 24 NEW SHOWER. TYP. AS SHOWN.
 - 25 NEW WASHER/DRYER. TYP. AS SHOWN.
 - 26 NEW FURNACE/WATER HEATER. TYP. AS SHOWN.
 - 27 NEW FIREPLACE. TYP. AS SHOWN.

LEGEND

- EXISTING WALL TO REMAIN INTACT
- NEW WALL
- NEW WINDOW
- NEW DOOR



TRUE PLAN NORTH
FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"

KEY NOTES

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- INDICATES EXISTING PROPERTY LINE.
 - EXISTING FLAG POLE TO REMAIN INTACT. PROTECT FROM DAMAGE.
 - EXISTING PARAPET WALL TO REMAIN INTACT. PROTECT FROM DAMAGE.
 - INFILL EXISTING OPENING(S) WHERE OCCURS. MATCH ADJACENT WALL FINISH.
 - EXISTING HOOD EXHAUST.
 - NEW HOOD EXHAUST.
 - INDICATES NEW WALL. TYP. AS SHOWN.
 - INDICATES NEW DOOR. TYP. AS SHOWN.
 - INDICATES NEW ALUMINUM WINDOW. TYP. AS SHOWN.
 - FURNITURE SHOWN FOR REFERENCE ONLY. TYP. AS SHOWN.
 - NEW AWNING ABOVE.
 - NEW STAIRS.
 - NEW HANDRAIL.
 - NEW EXTERIOR ACCESS.
 - NEW GATE TO PRIVATE ENTRY YARD.
 - NEW MAIN PRIVATE EXTERIOR LIVING SPACE.
 - NEW FENCE.
 - NEW SINK. TYP. AS SHOWN.
 - NEW UPPER AND LOWER CASEWORK. TYP. AS SHOWN.
 - NEW RANGE. TYP. AS SHOWN.
 - NEW REFRIGERATOR. TYP. AS SHOWN.
 - NEW TOILET. TYP. AS SHOWN.
 - NEW BATHTUB. TYP. AS SHOWN.
 - NEW SHOWER. TYP. AS SHOWN.
 - NEW WASHER/DRYER. TYP. AS SHOWN.
 - NEW FURNACE/WATER HEATER. TYP. AS SHOWN.
 - NEW FIREPLACE. TYP. AS SHOWN.
 - INDICATES NEW SKYLIGHT ABOVE. TYP. AS SHOWN.
 - INDICATES NEW ROOFTOP FIRE PIT. TYP. AS SHOWN.
 - INDICATES NEW ALUMINUM SLIDING WALL SYSTEM. TYP. AS SHOWN.
 - INDICATES SETBACK LINE FOR PENTHOUSE PARAPET VISIBILITY FROM STREET.
 - NEW PARAPET WALL.
 - RELOCATED CELLULAR EQUIPMENT AND ANTENNA.

LEGEND

- EXISTING WALL TO REMAIN INTACT
- NEW WALL
- NEW WINDOW
- NEW DOOR



TRUE PLAN NORTH
ROOF/ PENTHOUSE FLOOR PLAN
SCALE: 1/8"=1'-0"

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GENERAL CONTRACTOR:



DEVELOPER:



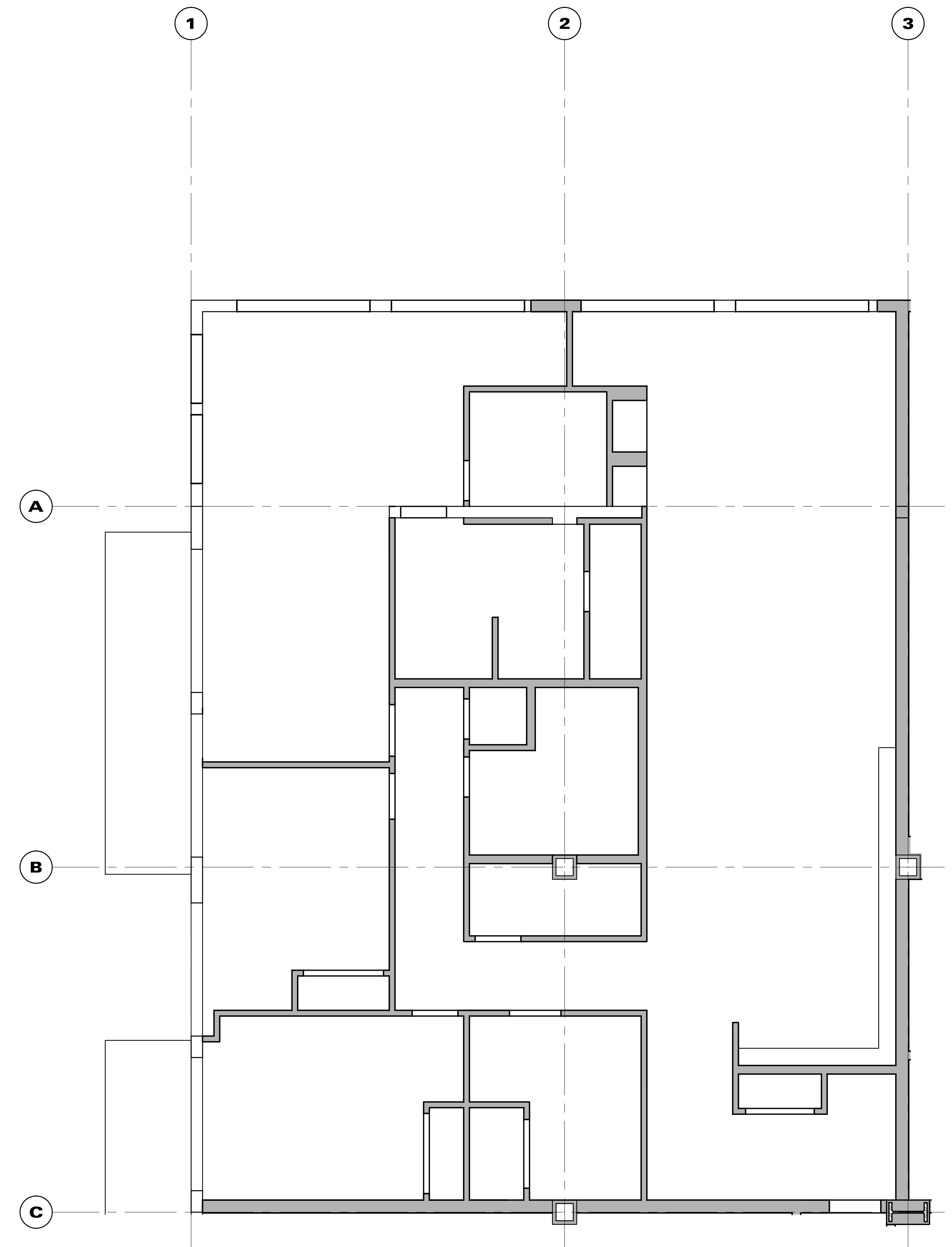
JOB NO.
14146-P

PRINT DATE: 11.2.2015
 PLOT DATE:
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:

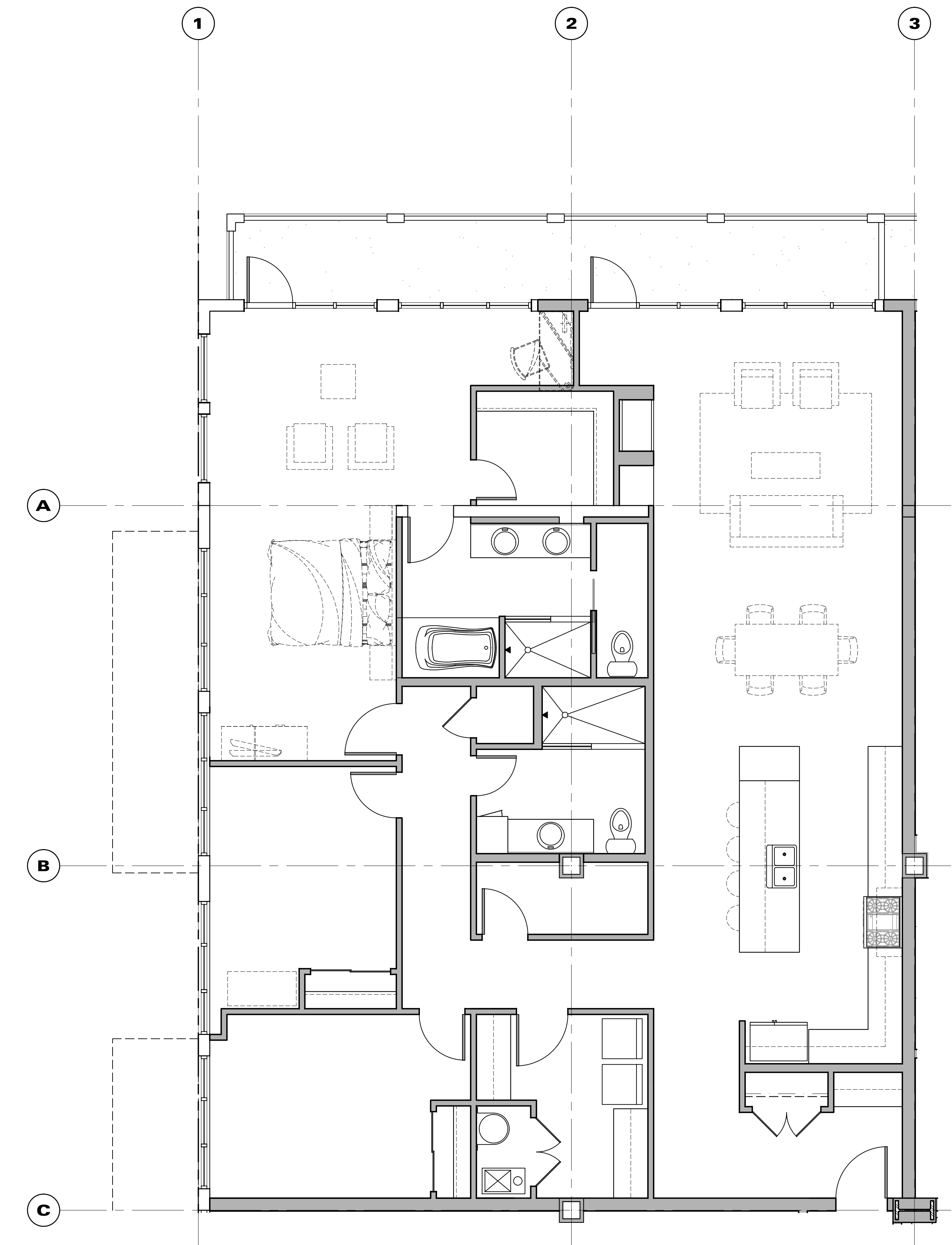
10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN.:
 006-173-001

SHEET NAME:
UNIT #209
ENLARGED
UNIT PLANS
 SHEET NO.:
A209
 FILE NAME: 14146-A209



2 **UNIT #209**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



1 **UNIT #209**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

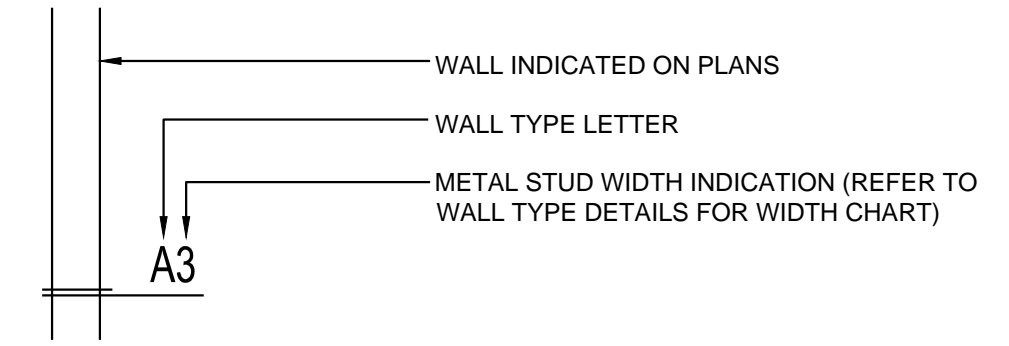
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

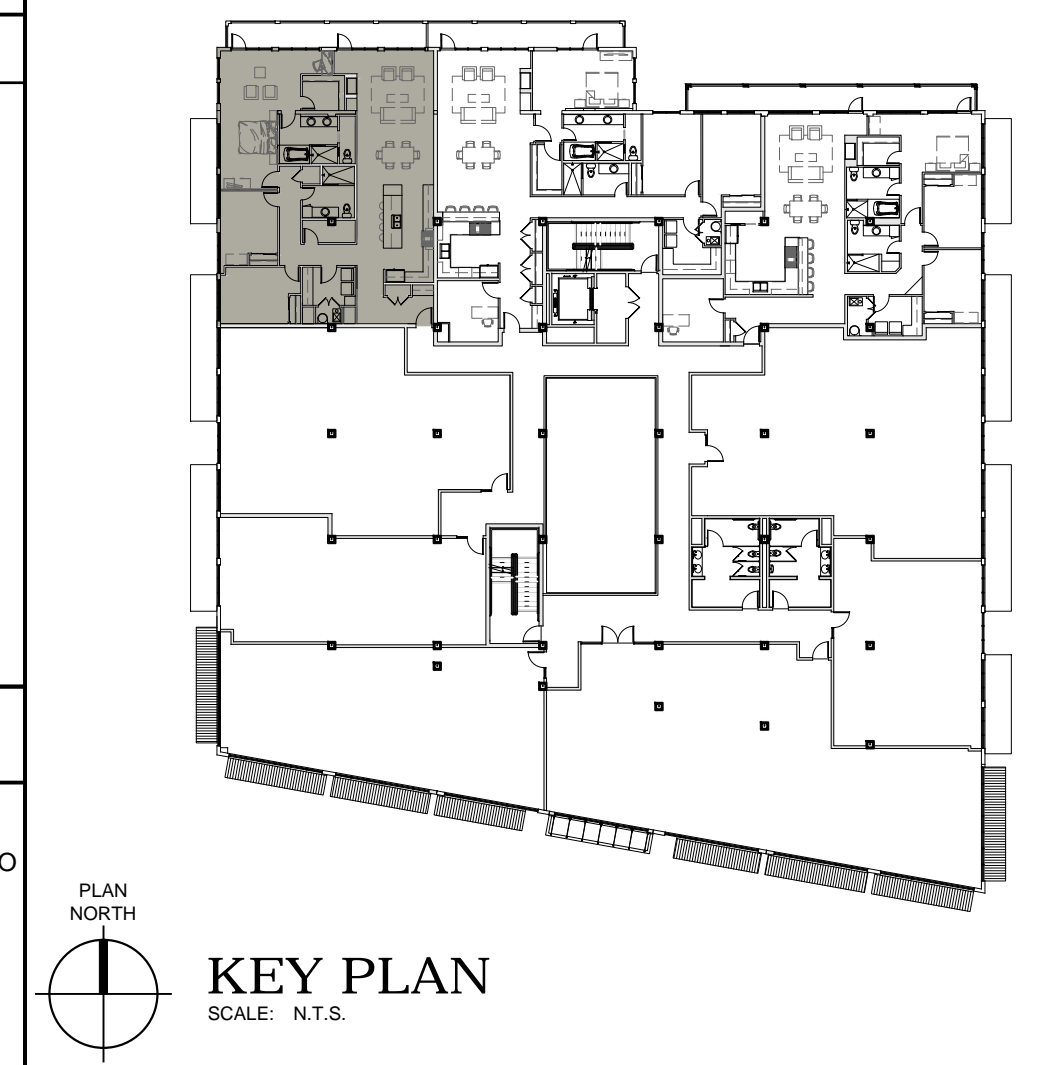
WALL TYPE NOTES

WALL TYPE SYMBOL:
 THE SYMBOL ILLUSTRATED BELOW REPRESENTS THE TYPE OF EACH WALL INDICATED BY THE SYMBOL ON THE DRAWINGS. DETAILS OF EACH WALL TYPE ARE REFERENCED BY THE "WALL TYPE LETTER" INDICATED FIRST WITHIN EACH SYMBOL. THE DIGIT AFTER THE WALL TYPE INDICATES THE WALL METAL STUD WIDTH. REFER TO METAL STUD SPAN TABLE & NOTES AND WALL TYPE DETAILS FOR STUD GAGE.




GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



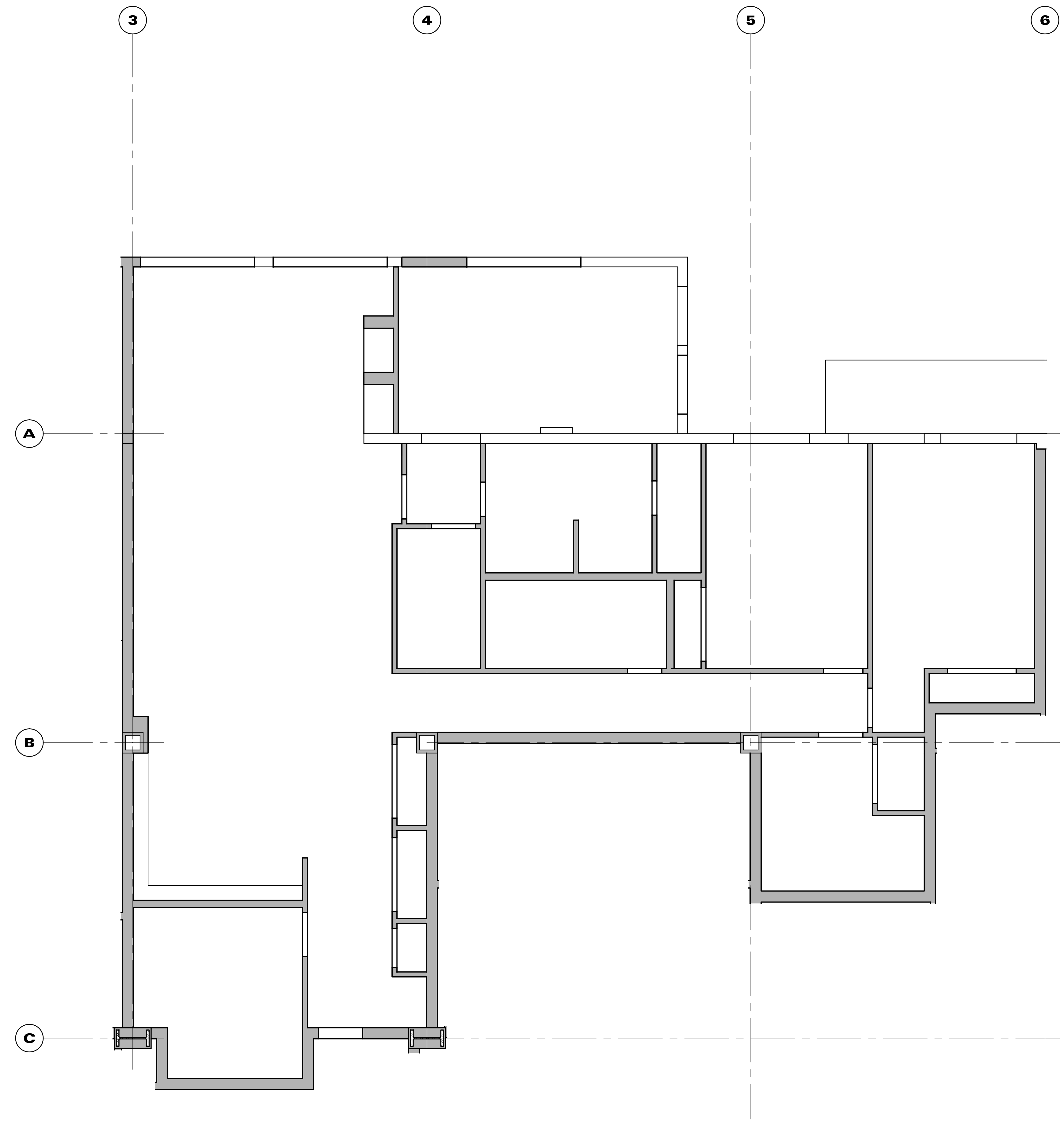
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GENERAL CONTRACTOR:

 DEVELOPER:

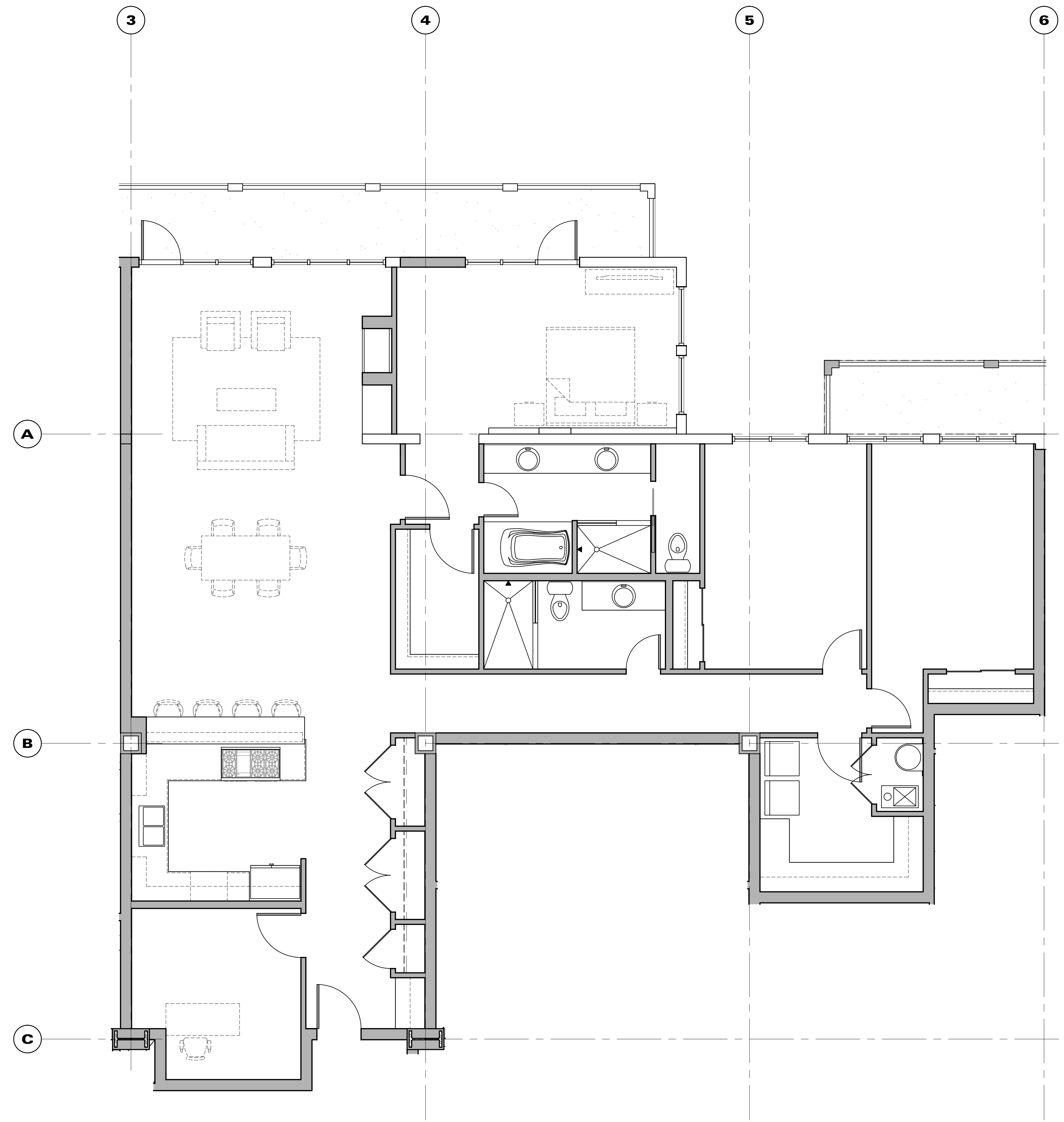

JOB NO. 006-173-001
 APN: 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
THE HOLMAN BUILDING

14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE:
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
UNIT #210
ENLARGED
UNIT PLANS
 SHEET NO.:
A210
 FILE NAME: 14146A210



2 **UNIT #210**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

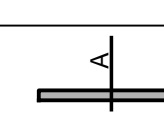


1 **UNIT #210**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

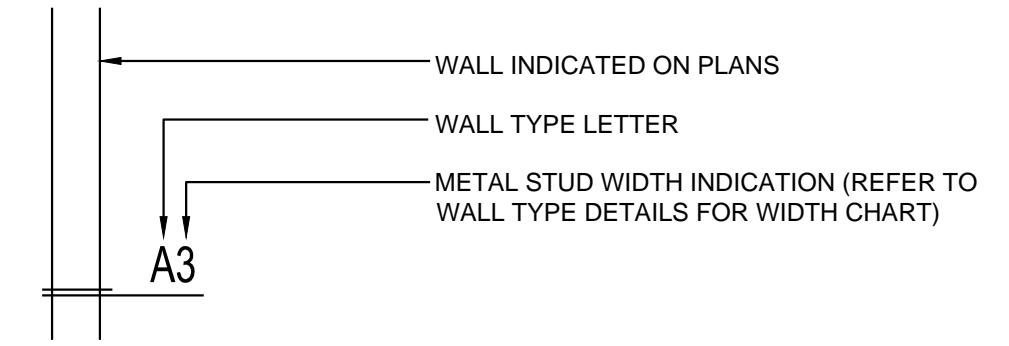
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

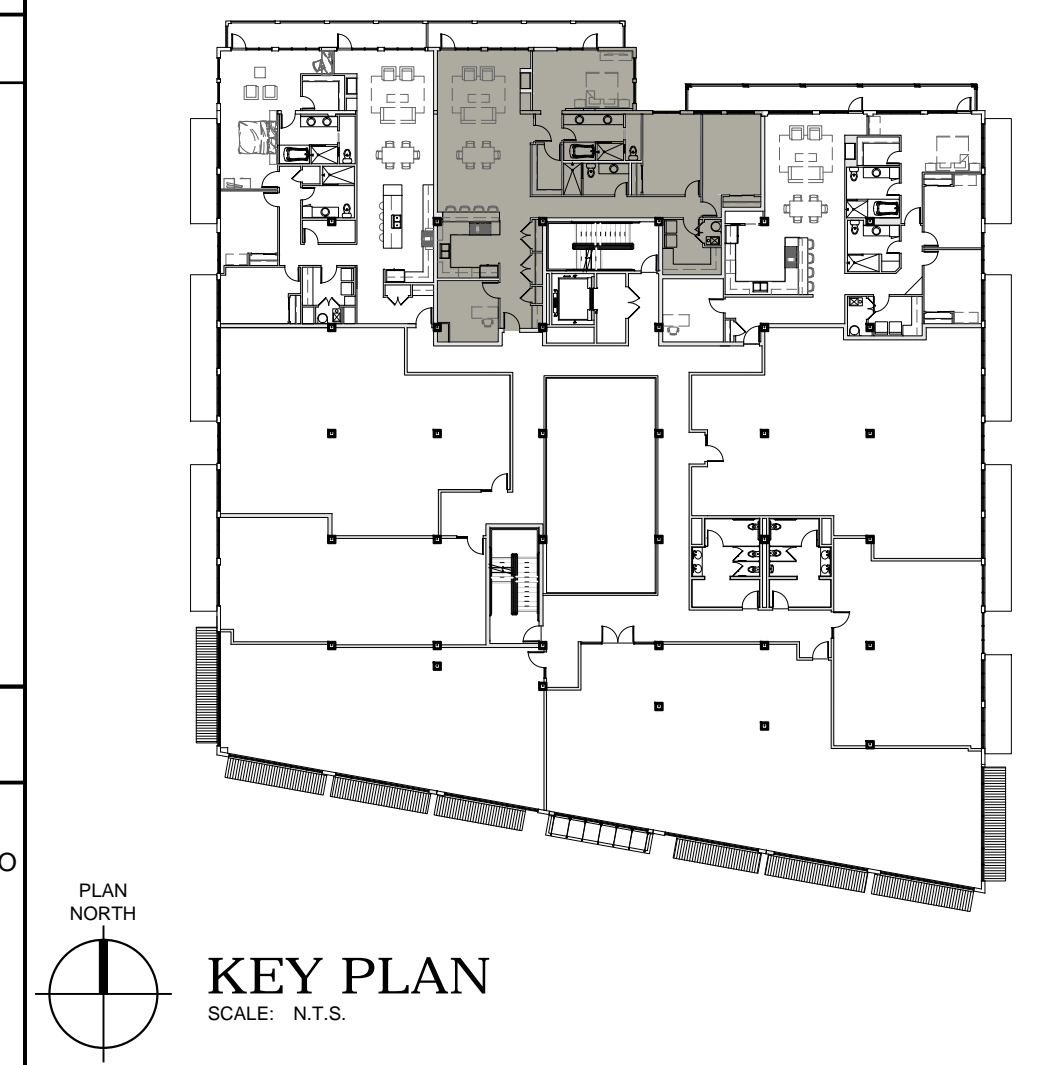
WALL TYPE NOTES

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GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



KEY PLAN
 SCALE: N.T.S.

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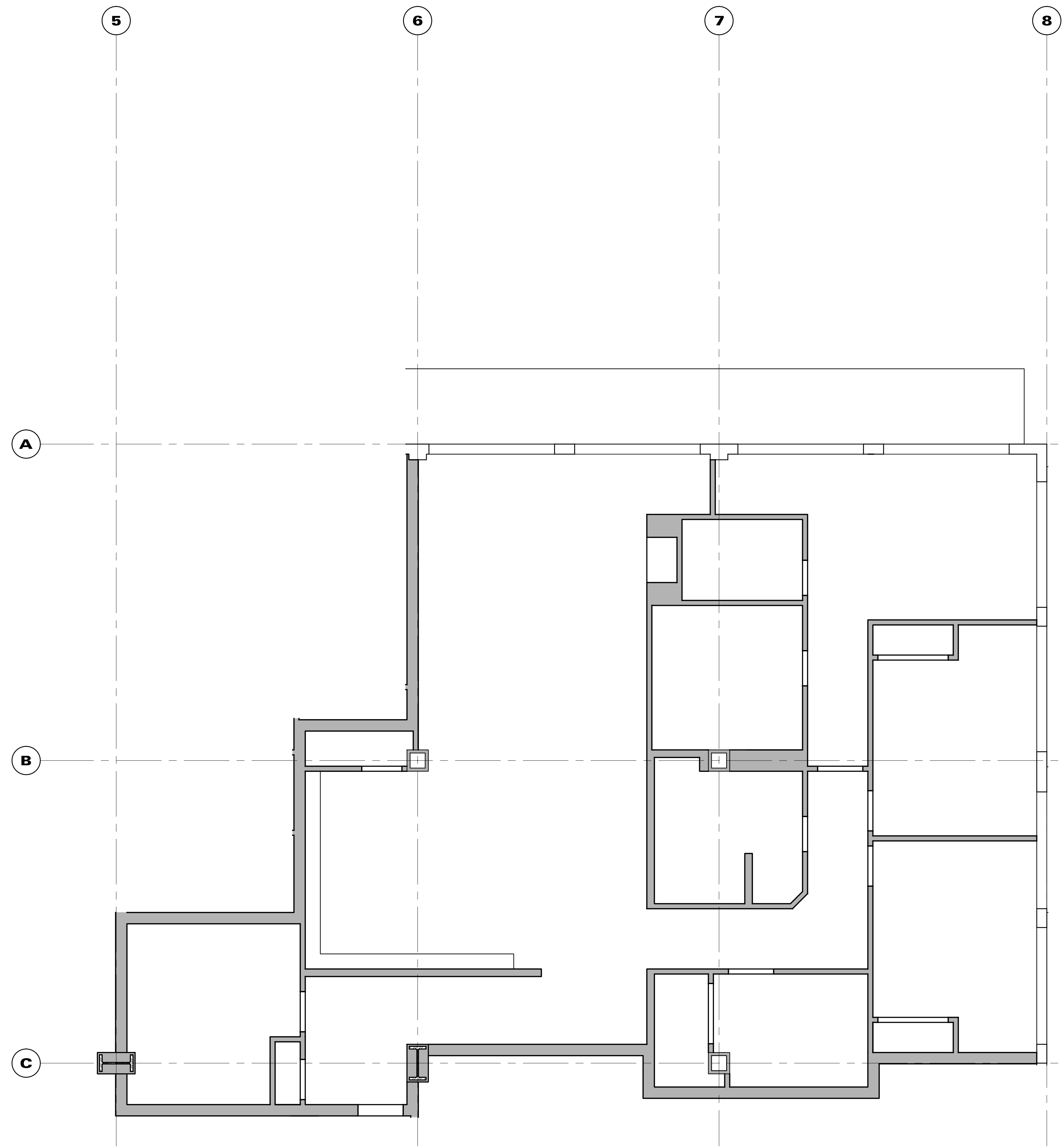
GENERAL CONTRACTOR:

 DEVELOPER:

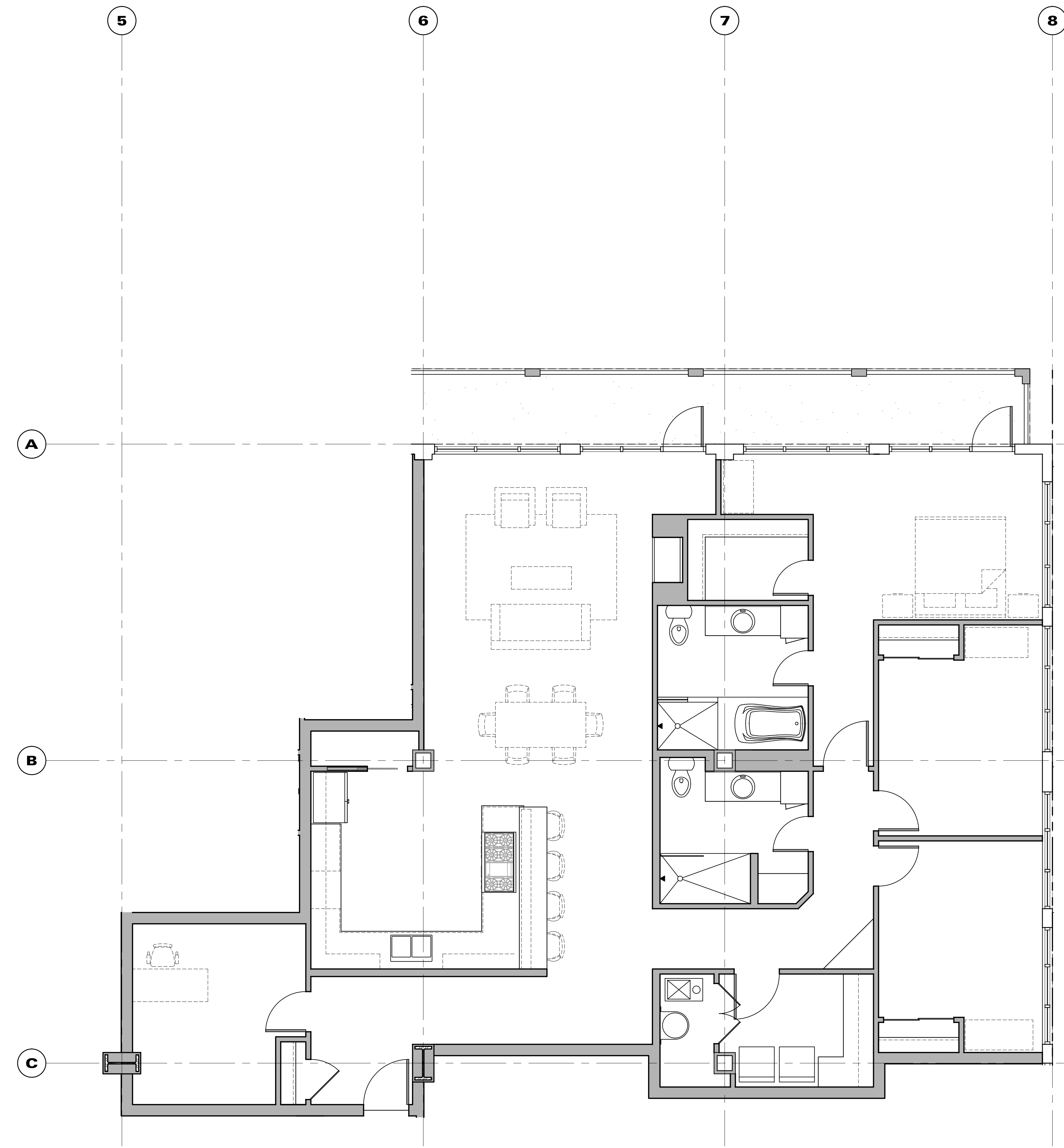

THE HOLMAN BUILDING
 542 Lighthouse Avenue
 Pacific Grove, CA 93950
 APN: 006-173-001

JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
UNIT #211
ENLARGED
UNIT PLANS
 SHEET NO.:
A211
 FILE NAME: 14146-A211



2 **UNIT #211**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

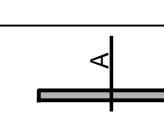


1 **UNIT #211**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

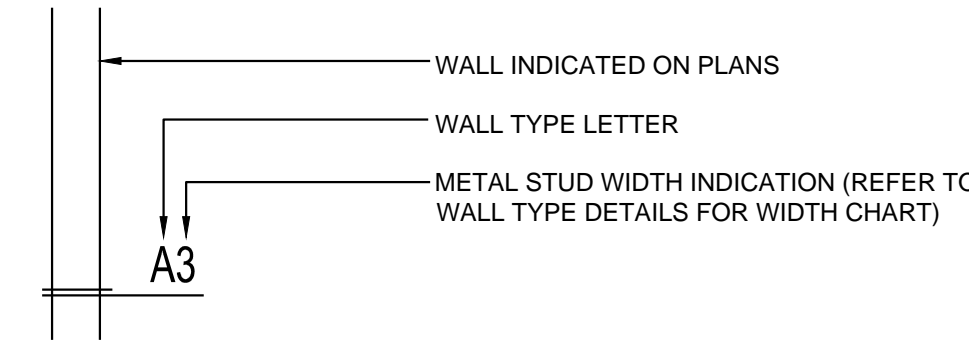
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

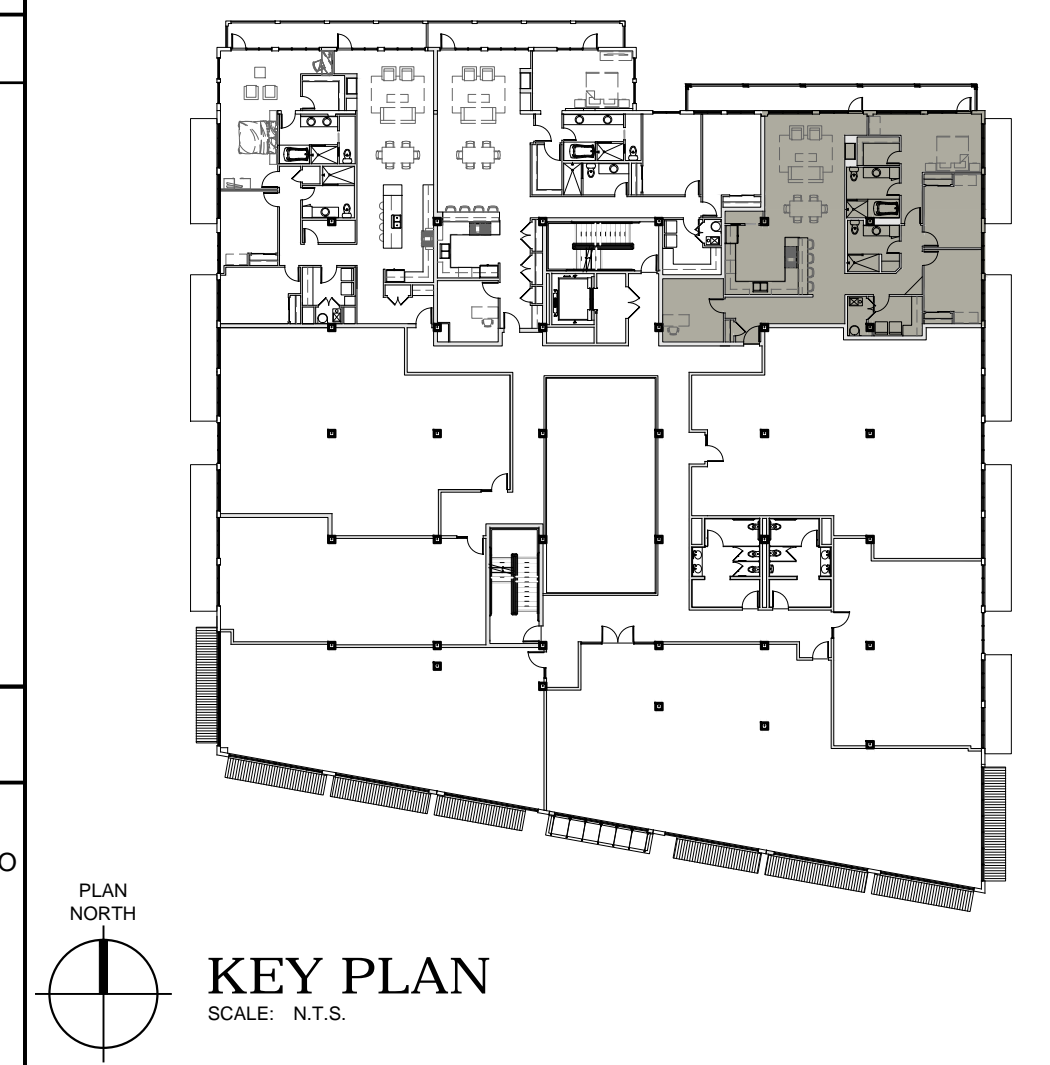
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GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



A211

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION HEREIN IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD OR IN WHICHEVER MANNER IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

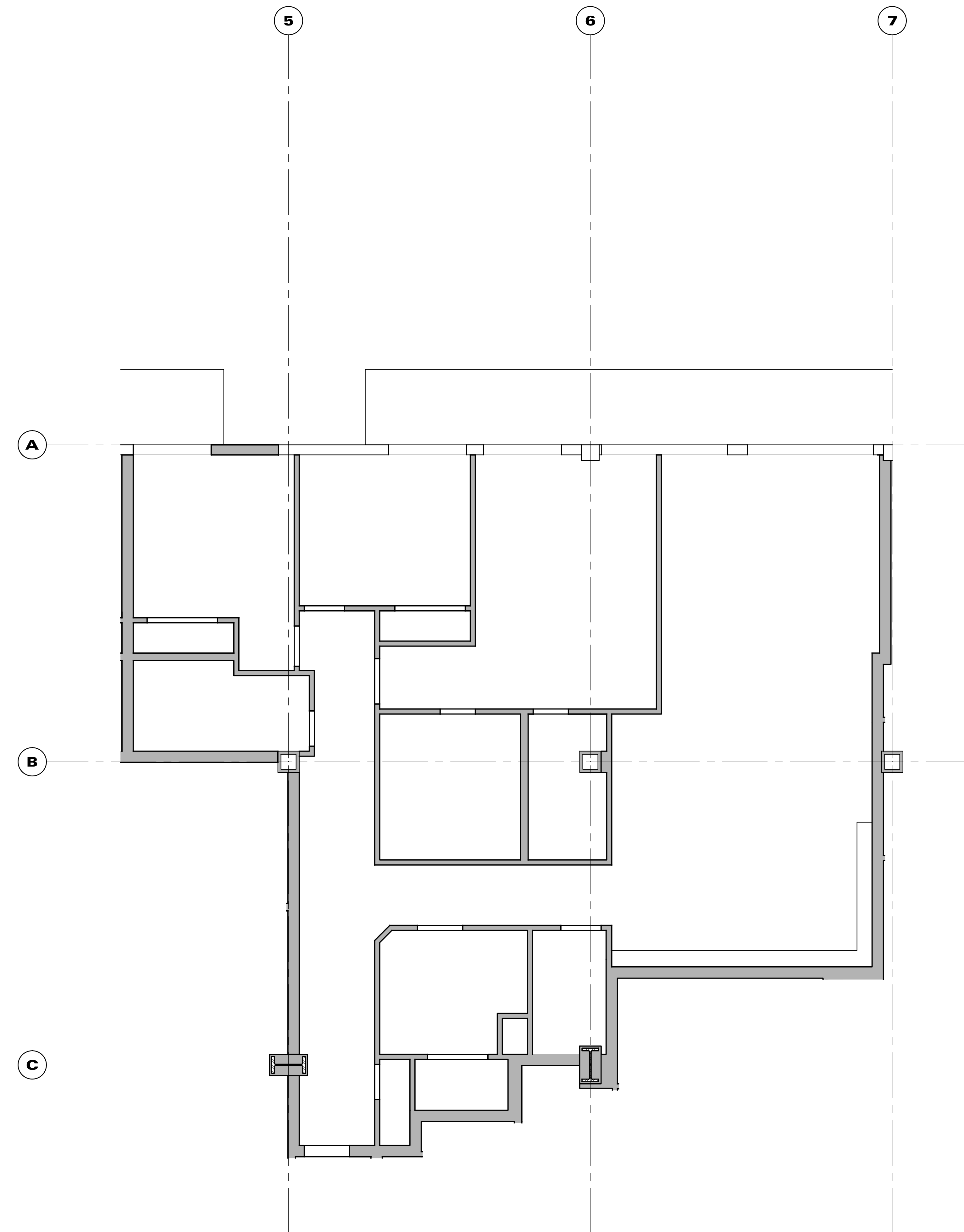
GENERAL CONTRACTOR:

 DEVELOPER:

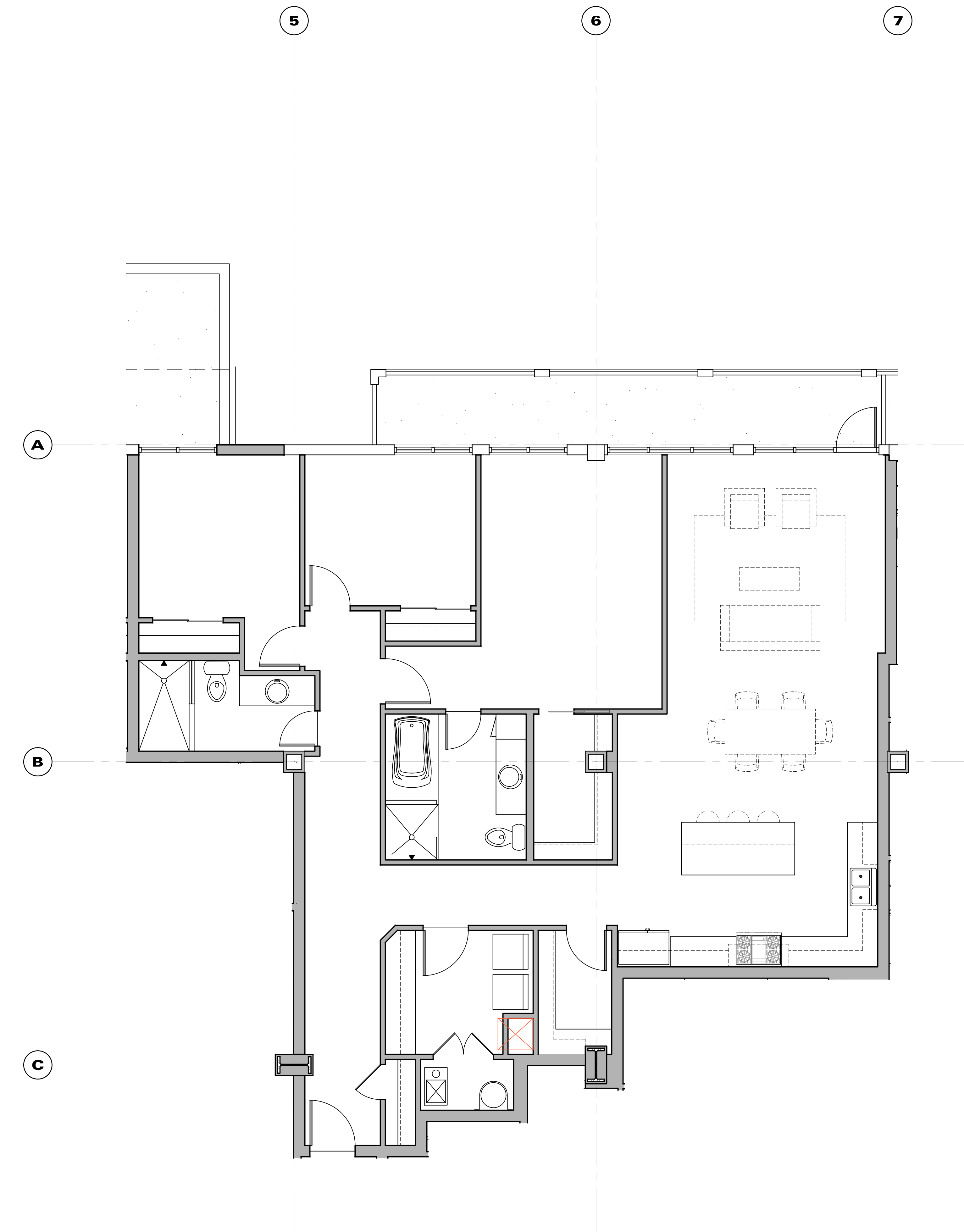

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN: 006-173-001

JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
UNIT #301/401
ENLARGED
UNIT PLANS
 SHEET NO.:
A212
 FILE NAME: 14146-A212



2 **UNIT #301/401**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



1 **UNIT #301/401**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

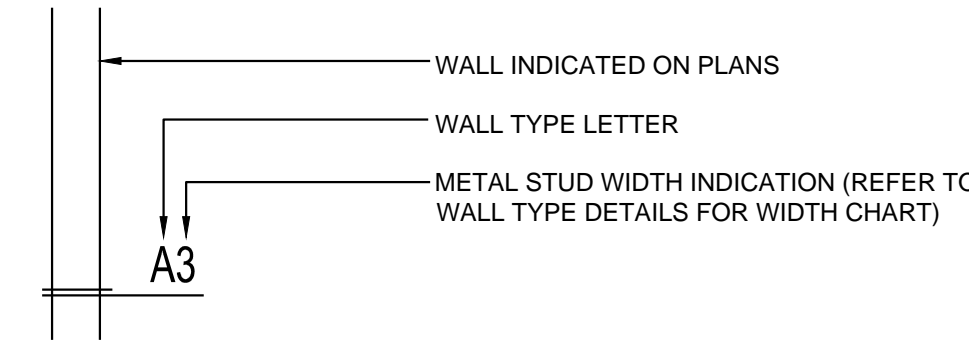
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

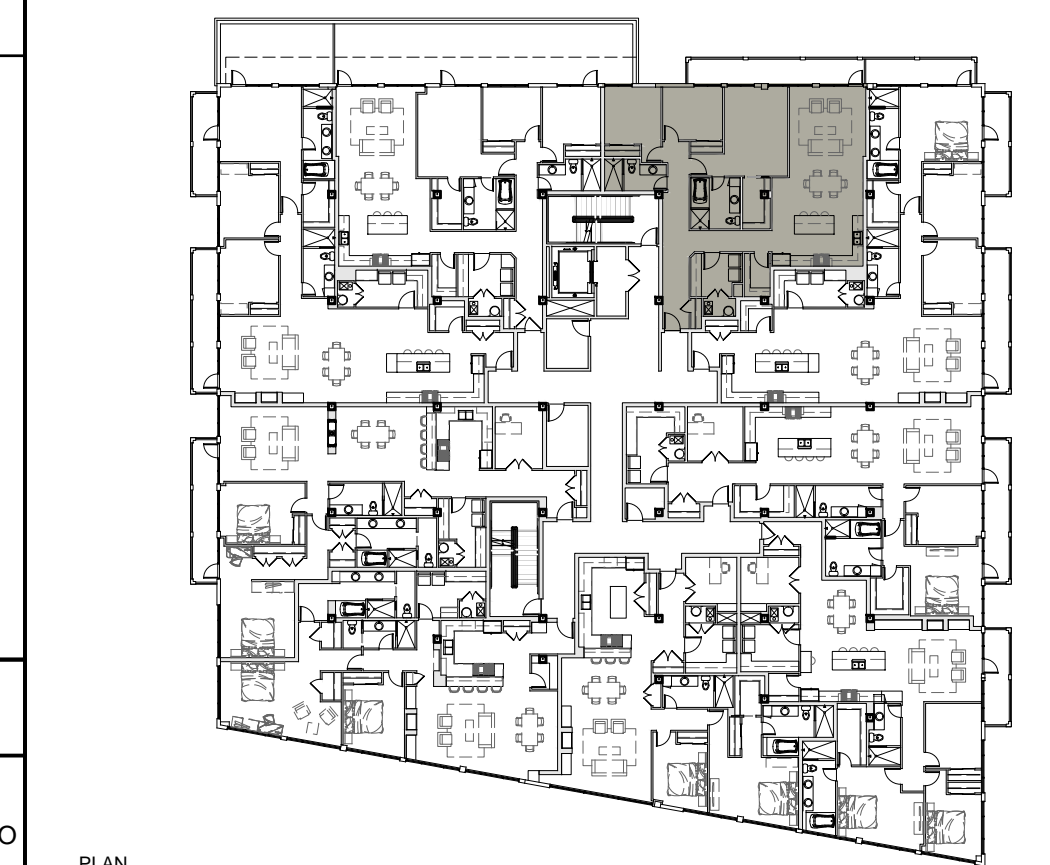
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GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



PLAN NORTH
KEY PLAN
 SCALE: N.T.S.

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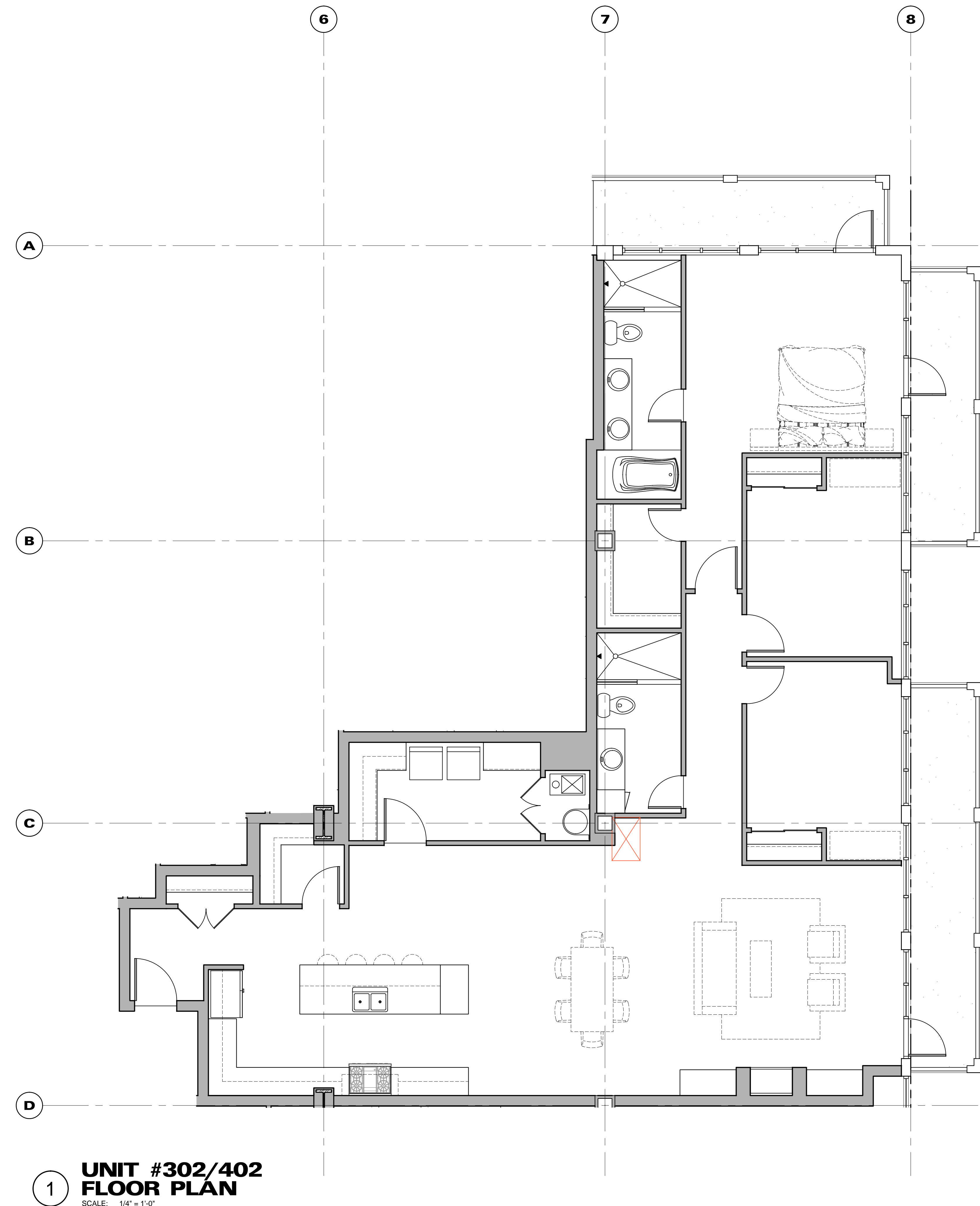
GENERAL CONTRACTOR:

 DEVELOPER:


JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

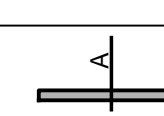
THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

AP.N.: 006-173-001



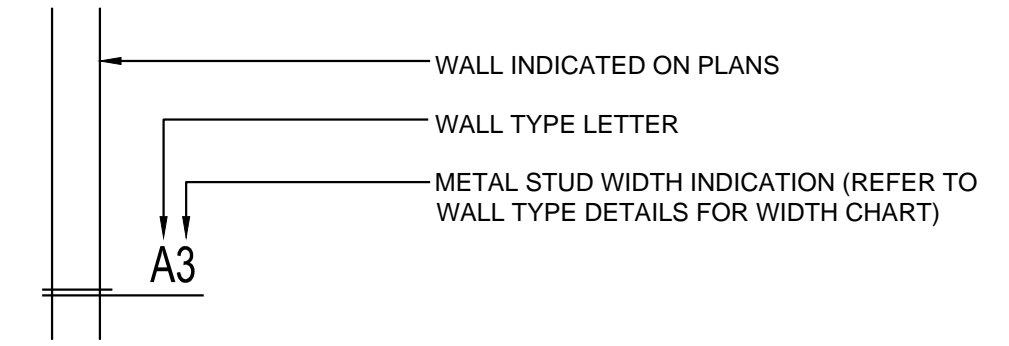
KEY NOTES
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PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

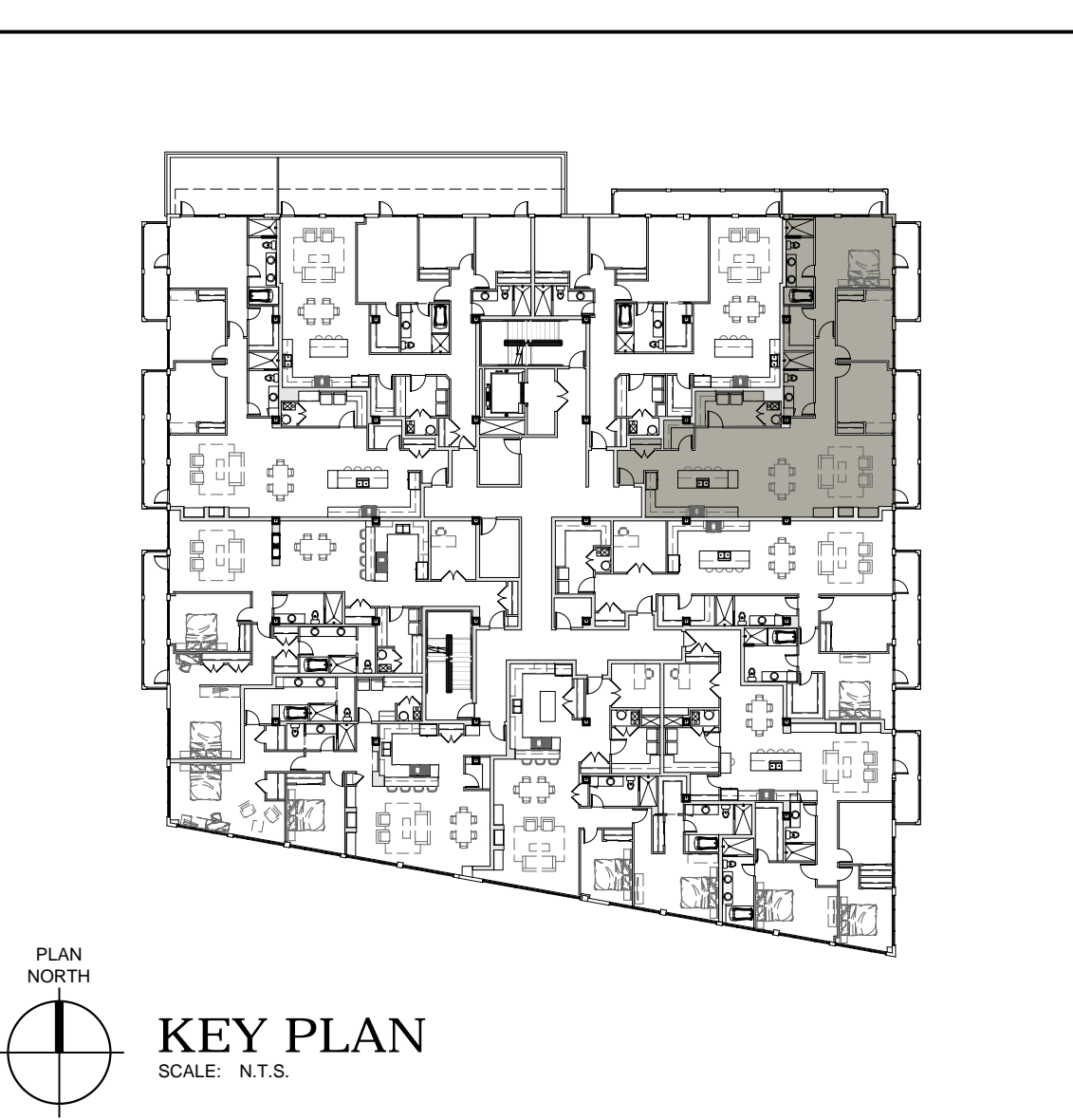
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GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



SHEET NAME:
UNIT #302/402
ENLARGED
UNIT PLANS
 SHEET NO.:
A213
 FILE NAME: 14146-A213

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GENERAL CONTRACTOR:



DEVELOPER:

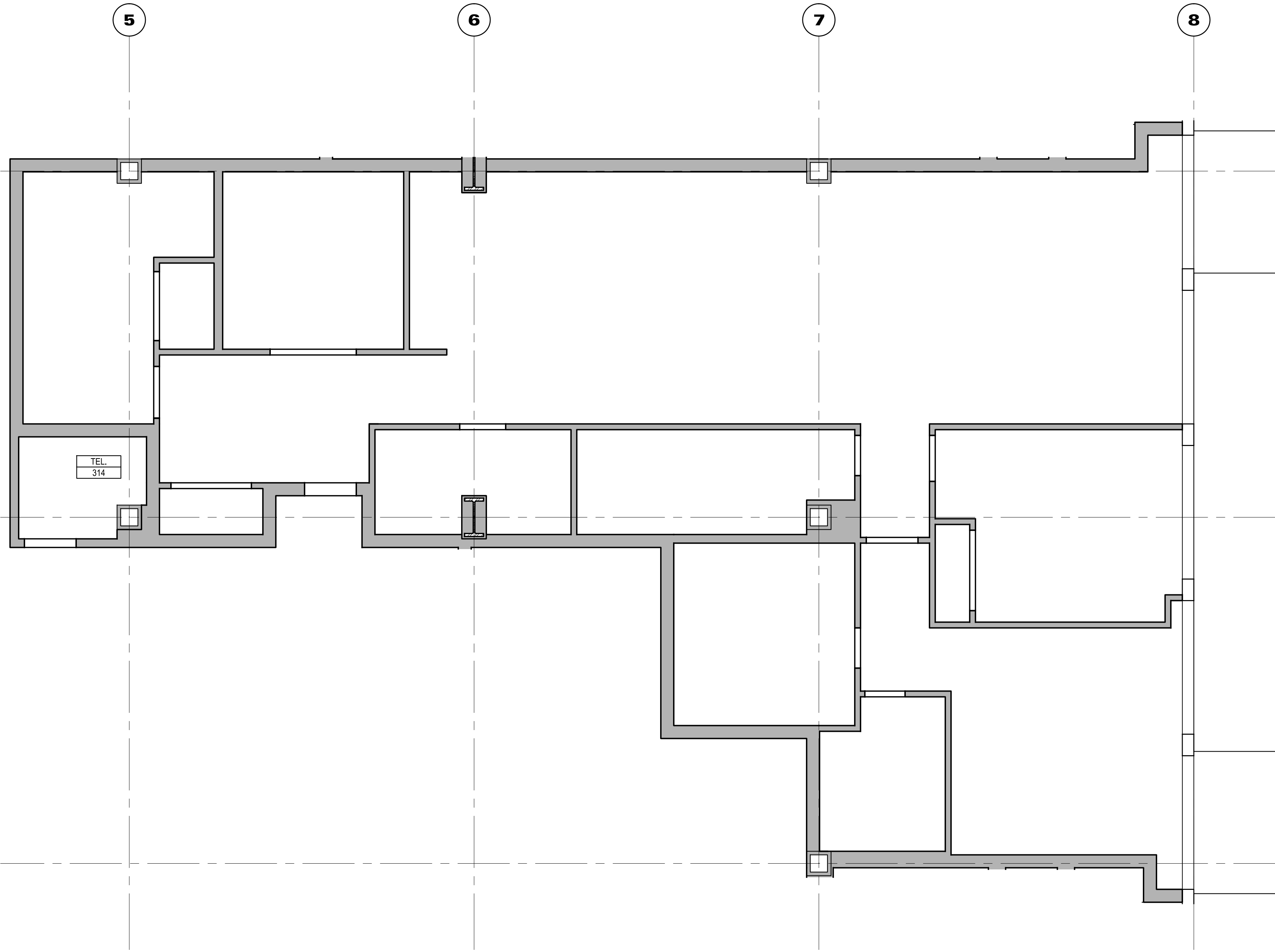


JOB NO.
14146-P

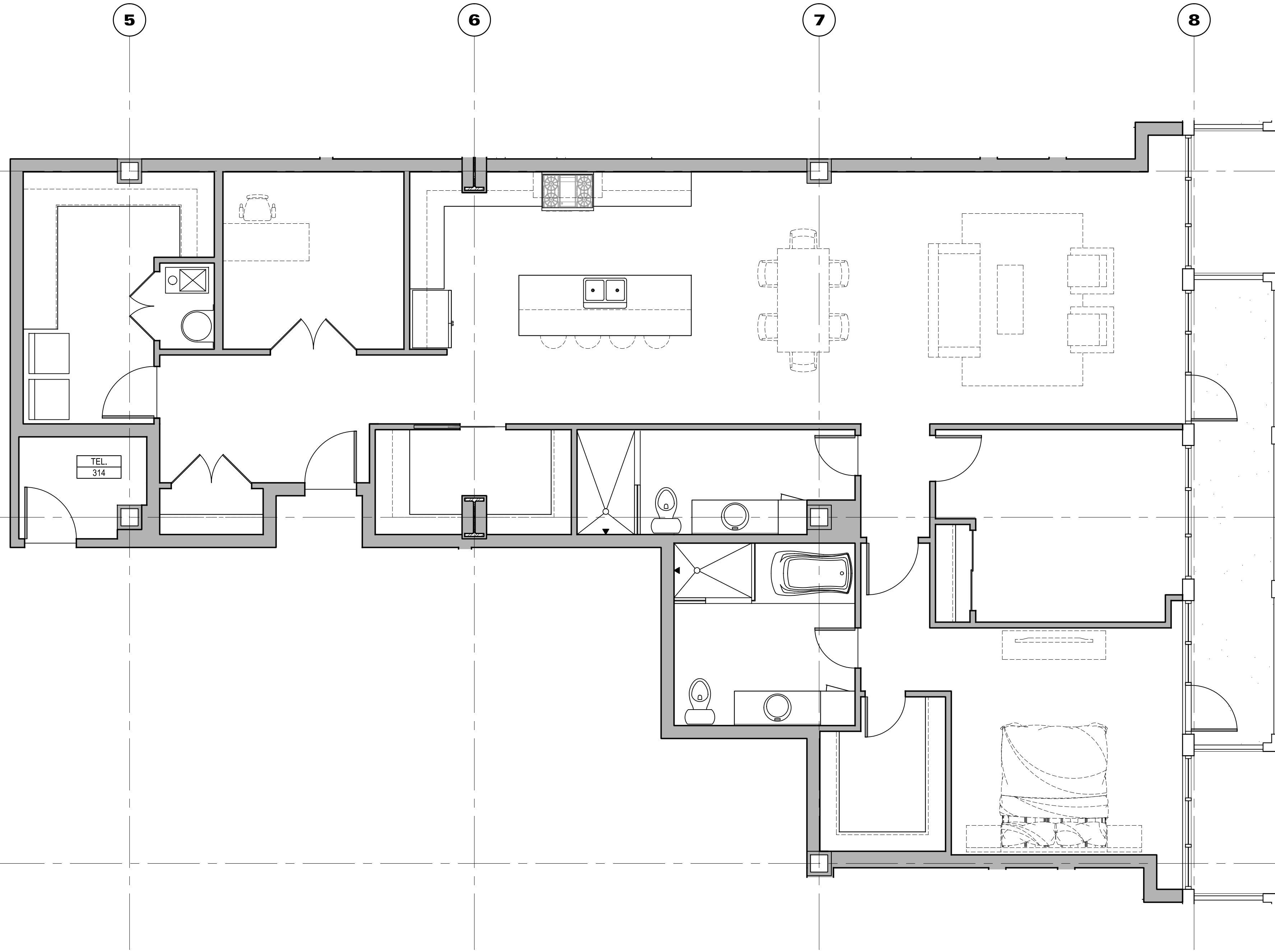
PRINT DATE: 11.2.2015
 PLOT DATE:
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:

10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN: 006-173-001



2 **UNIT #303/403**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



1 **UNIT #303/403**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

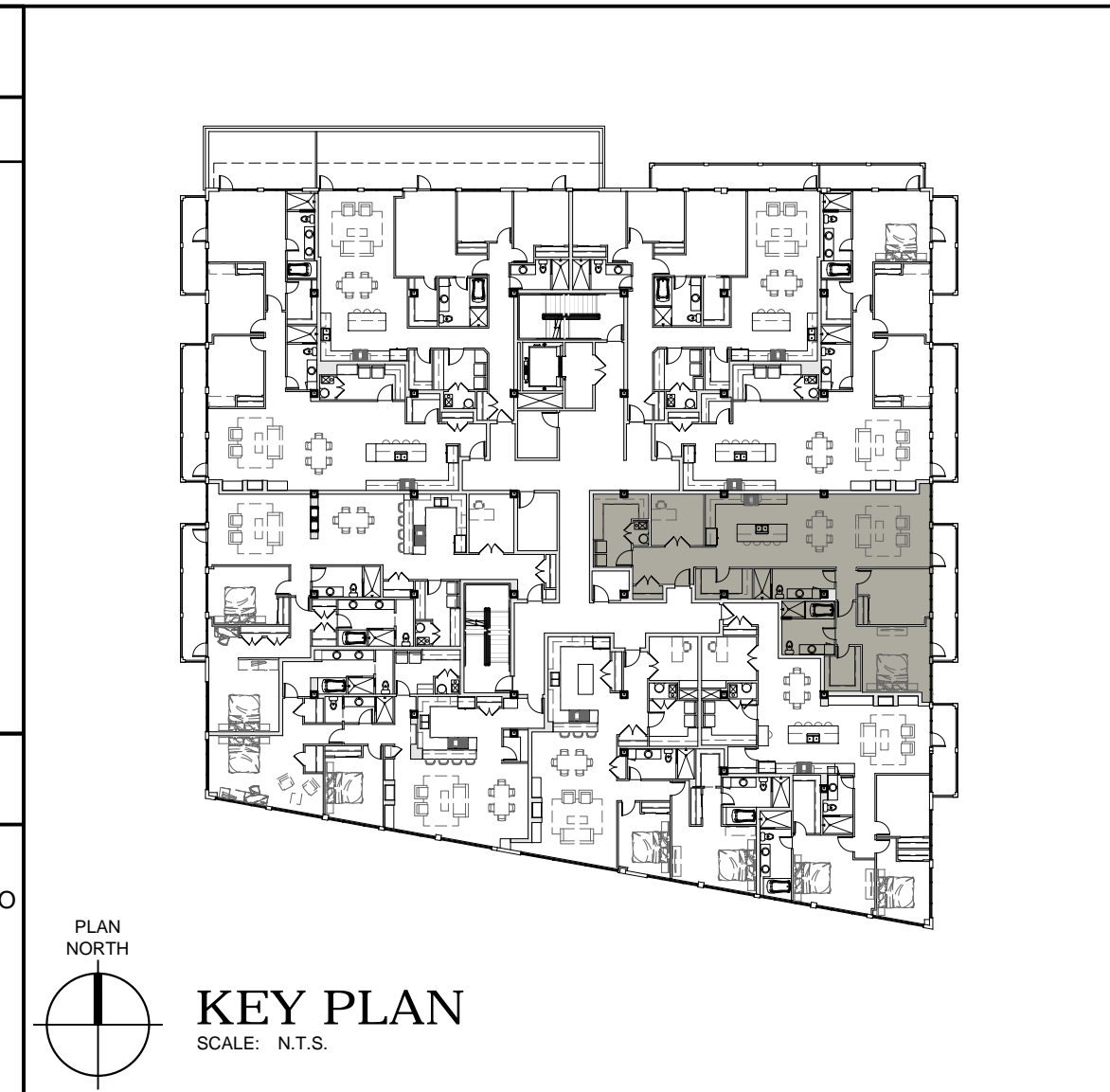
WALL TYPE NOTES

WALL TYPE SYMBOL:
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WALL INDICATED ON PLANS
 WALL TYPE LETTER
 METAL STUD WIDTH INDICATION (REFER TO WALL TYPE DETAILS FOR WIDTH CHART)

GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



SHEET NAME:
UNIT #303/403
ENLARGED
UNIT PLANS
 SHEET NO.:
A214
 FILE NAME: 14146A214

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GENERAL CONTRACTOR:



DEVELOPER:

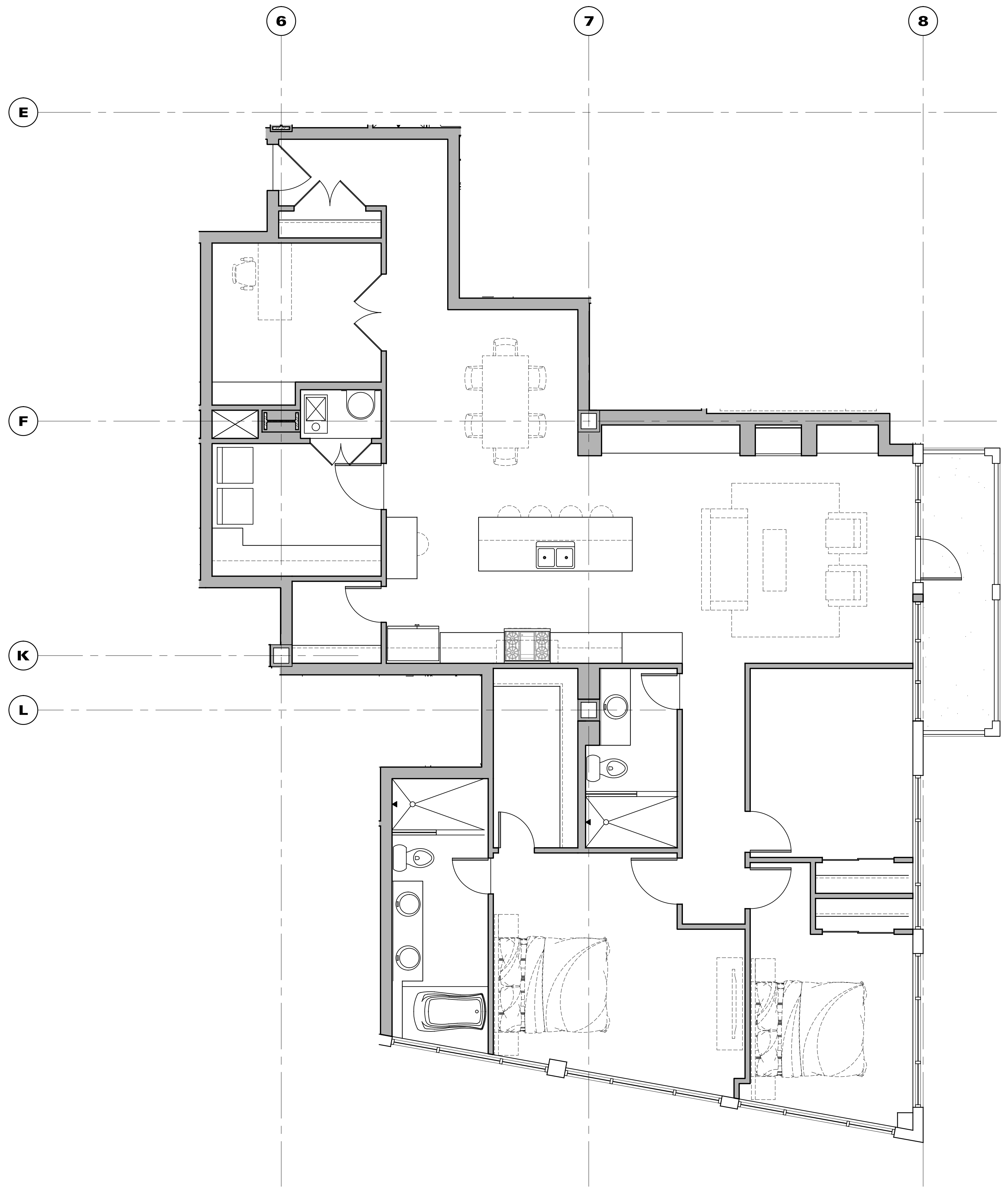


JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN.: 006-173-001



2 UNIT #304/404
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



1 UNIT #304/404
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

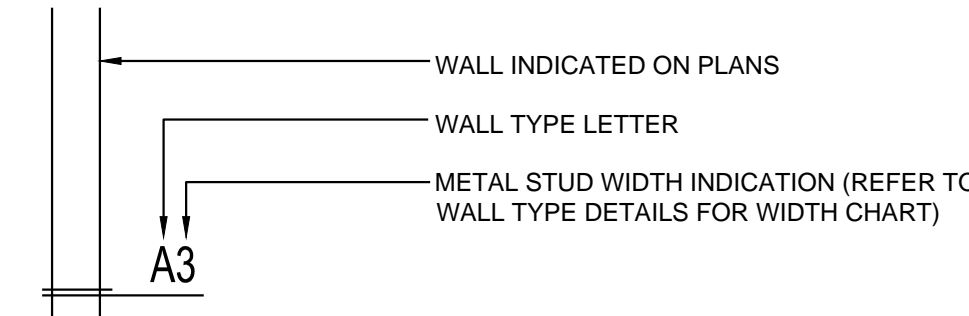
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PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

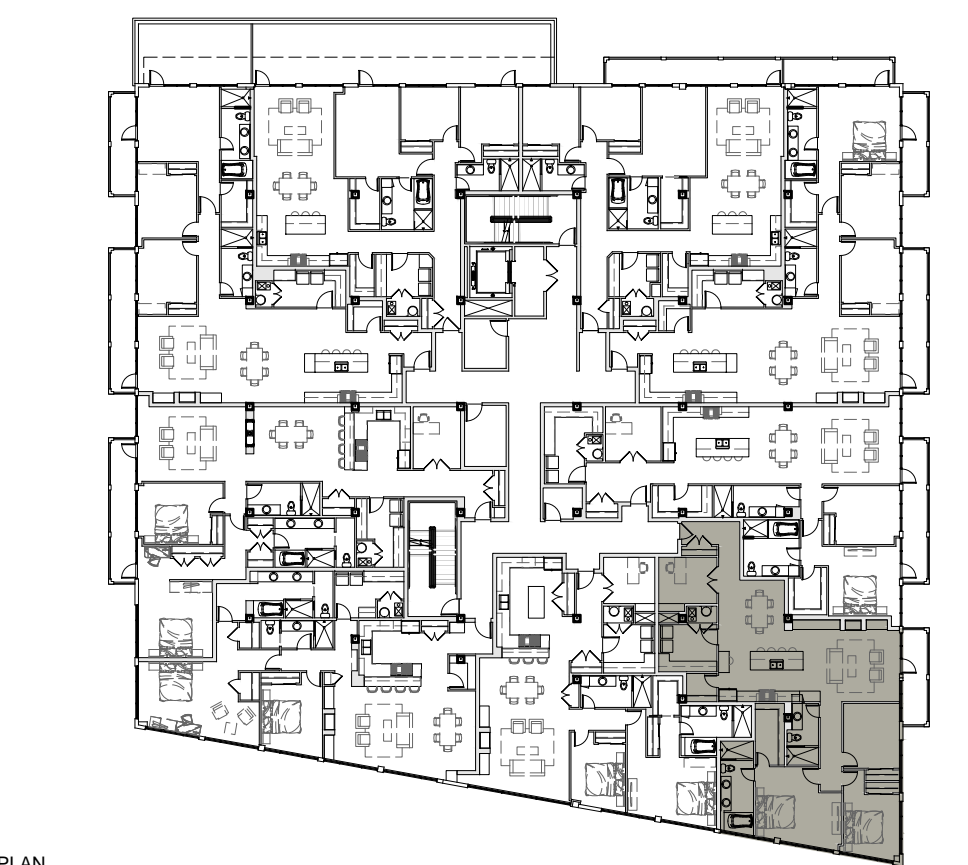
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GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



PLAN NORTH
KEY PLAN
 SCALE: N.T.S.

SHEET NAME:
UNIT #304/304
ENLARGED
UNIT PLANS

SHEET NO.:
A215
 FILE NAME: 14146-A215

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION HEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION OF ANY METHOD OR IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

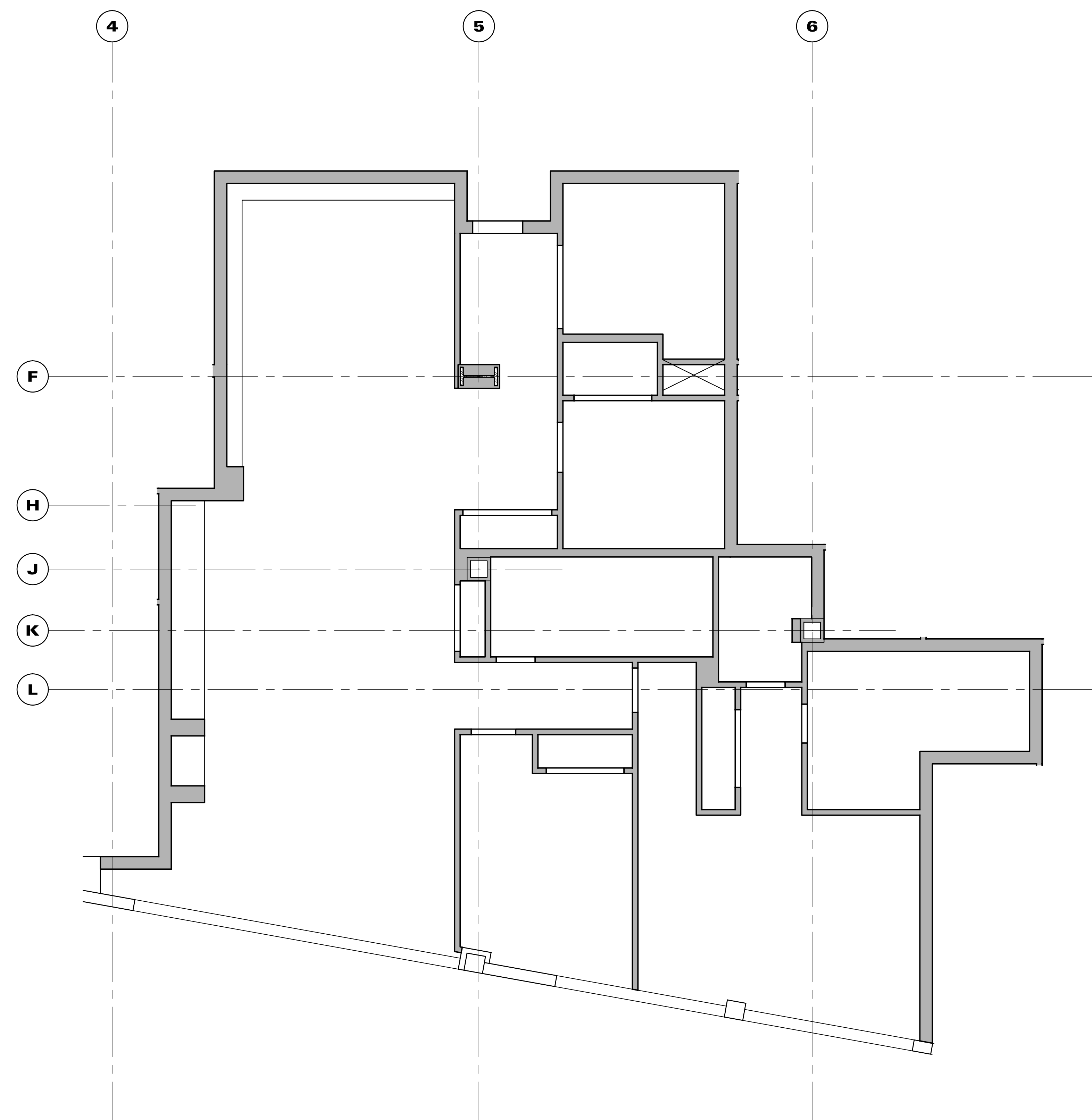
GENERAL CONTRACTOR:

 DEVELOPER:

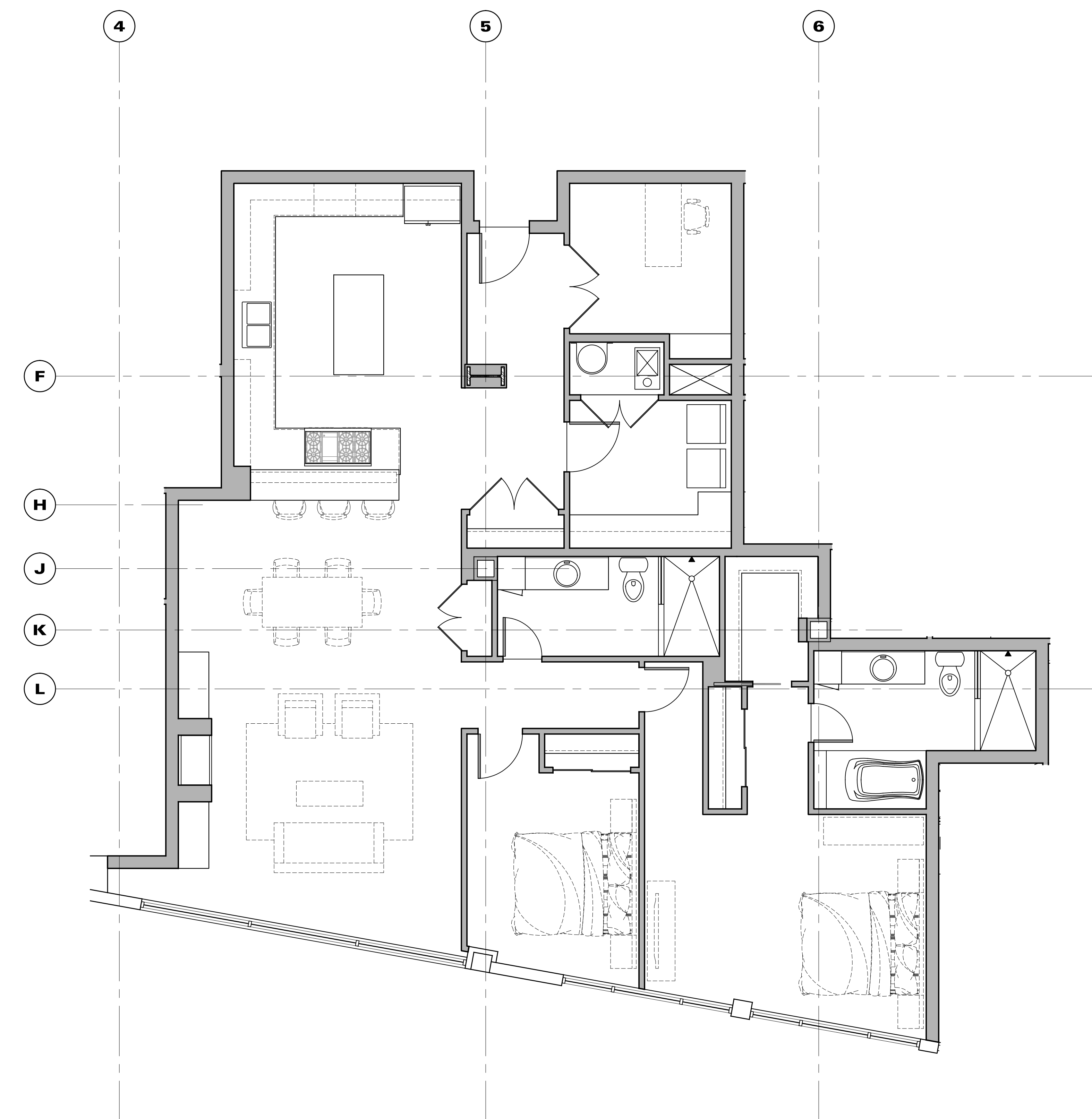

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN.: 006-173-001

JOB NO.
14146-P
 PRINT DATE:
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
UNIT #305/405
ENLARGED
UNIT PLANS
 SHEET NO.:
A216
 FILE NAME: 14146-A216



2 **UNIT #305/405**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

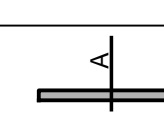


1 **UNIT #305/405**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

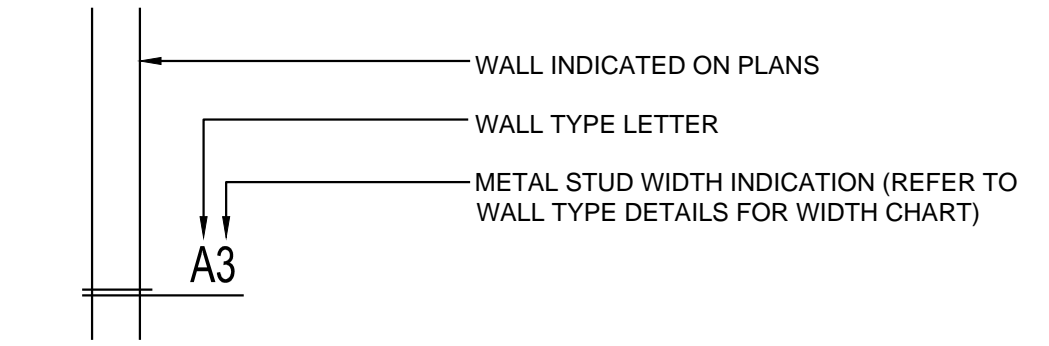
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

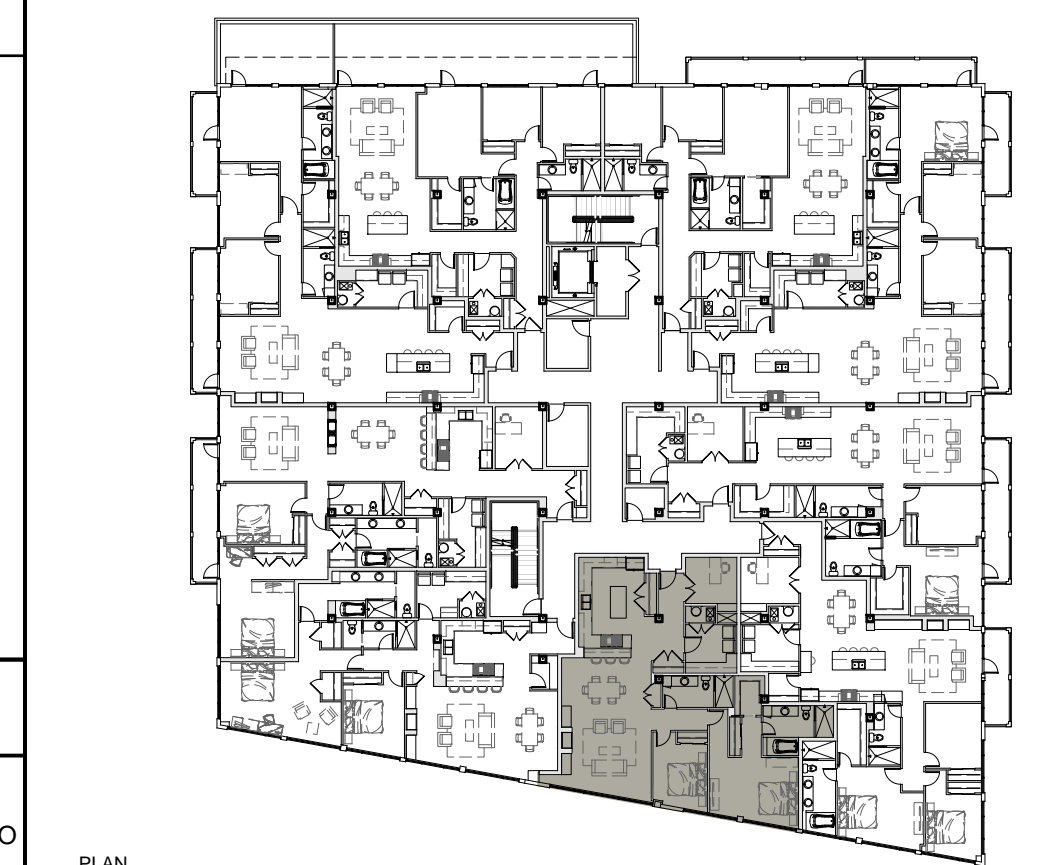
WALL TYPE NOTES

WALL TYPE SYMBOL:
 THE SYMBOL ILLUSTRATED BELOW REPRESENTS THE TYPE OF EACH WALL INDICATED BY THE SYMBOL ON THE DRAWINGS. DETAILS OF EACH WALL TYPE ARE REFERENCED BY THE "WALL TYPE LETTER" INDICATED FIRST WITHIN EACH SYMBOL. THE DIGIT AFTER THE WALL TYPE INDICATES THE WALL METAL STUD WIDTH. REFER TO METAL STUD SPAN TABLE & NOTES AND WALL TYPE DETAILS FOR STUD GAGE.



GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



PLAN NORTH
KEY PLAN
 SCALE: N.T.S.

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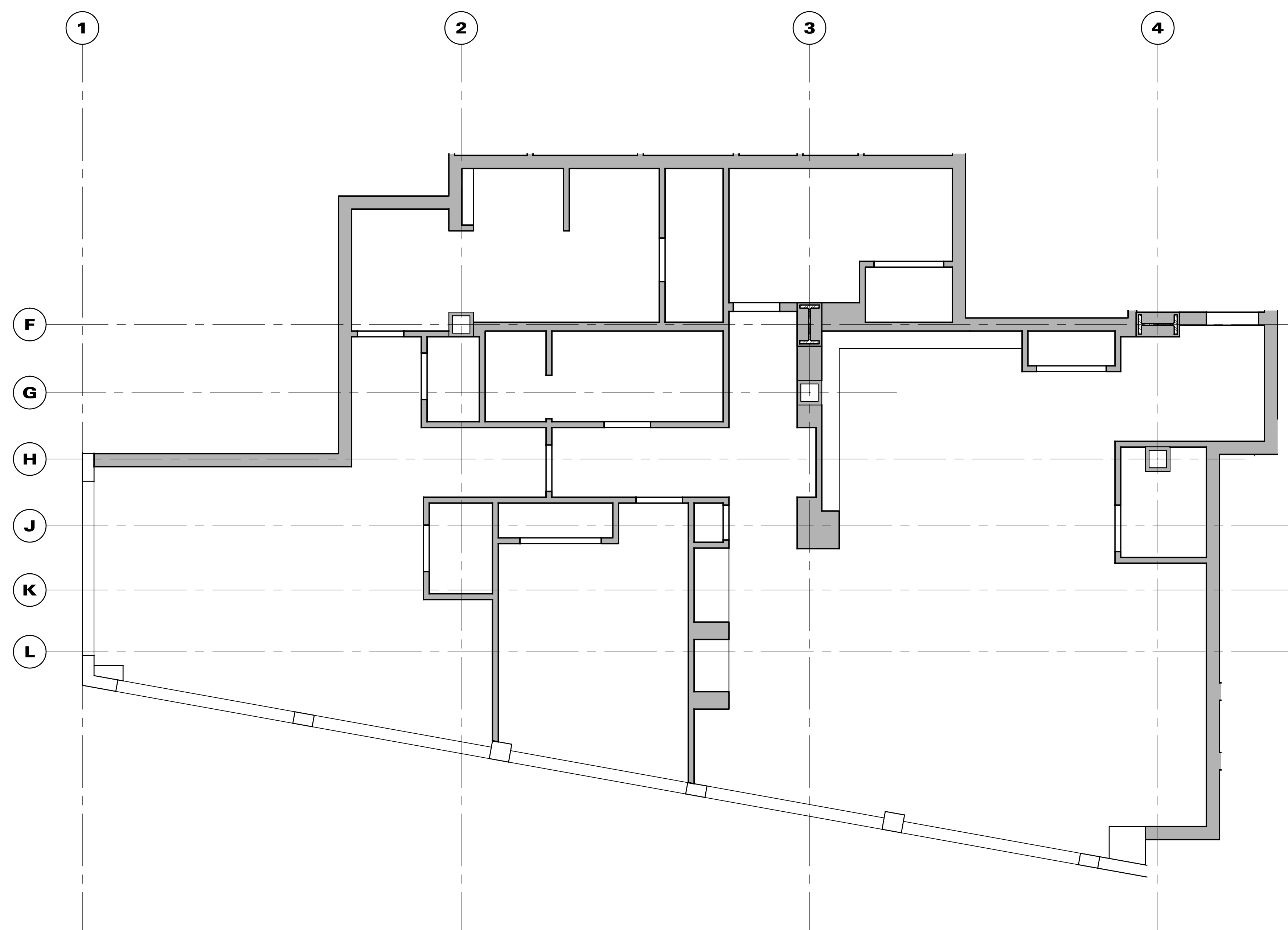
GENERAL CONTRACTOR:

 DEVELOPER:

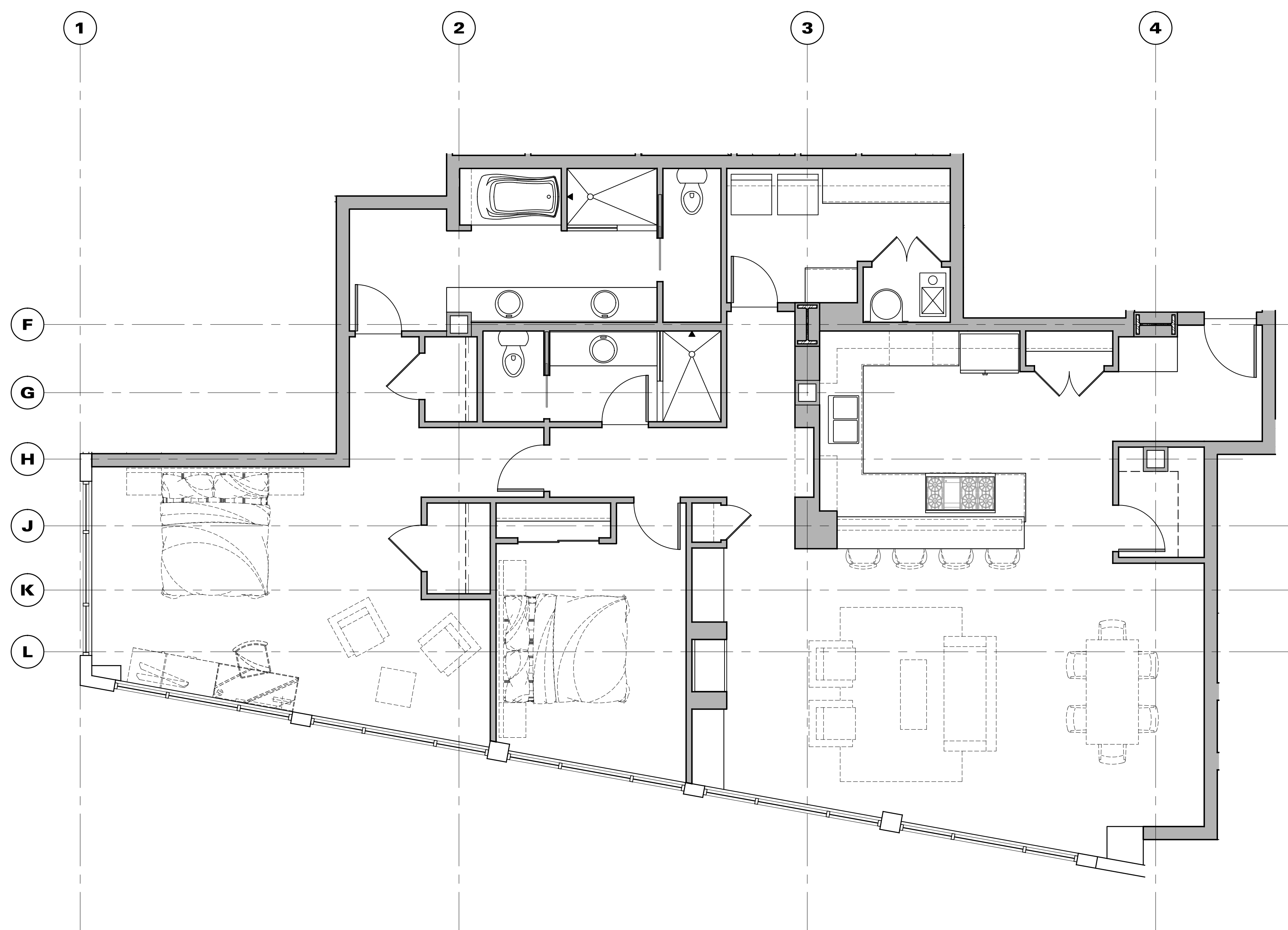

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN: 006-173-001

JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
UNIT #306/406
ENLARGED
UNIT PLANS
 SHEET NO.:
A217
 FILE NAME: 14146-A217



2 **UNIT #306/406**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

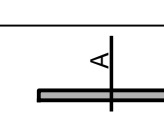


1 **UNIT #306/406**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

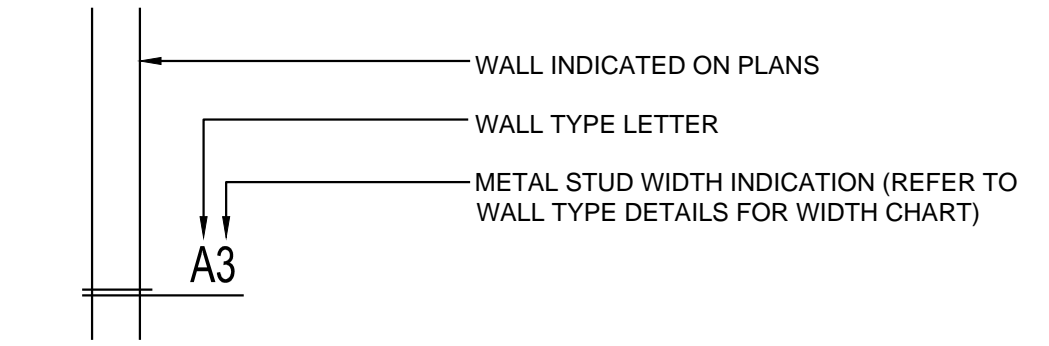
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

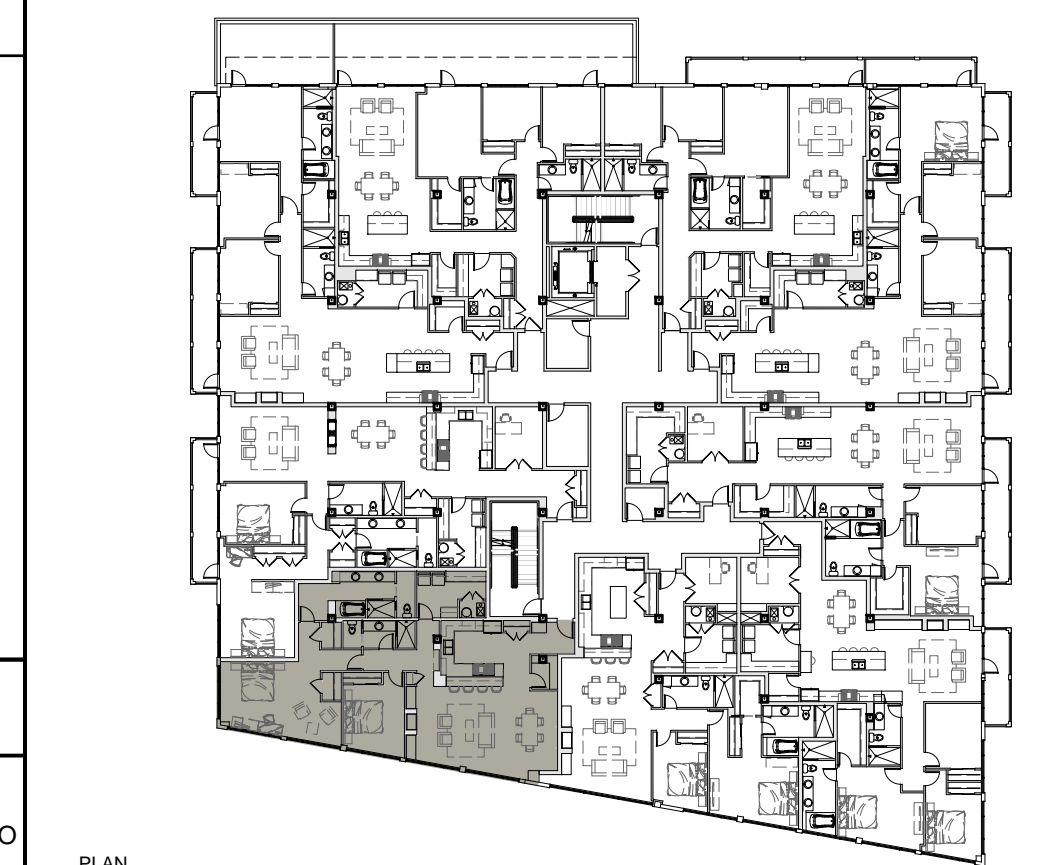
WALL TYPE NOTES

WALL TYPE SYMBOL:
 THE SYMBOL ILLUSTRATED BELOW REPRESENTS THE TYPE OF EACH WALL INDICATED BY THE SYMBOL ON THE DRAWINGS. DETAILS OF EACH WALL TYPE ARE REFERENCED BY THE "WALL TYPE LETTER" INDICATED FIRST WITHIN EACH SYMBOL. THE DIGIT AFTER THE WALL TYPE INDICATES THE WALL METAL STUD WIDTH. REFER TO METAL STUD SPAN TABLE & NOTES AND WALL TYPE DETAILS FOR STUD GAGE.



GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



PLAN NORTH
KEY PLAN
 SCALE: N.T.S.

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GENERAL CONTRACTOR:



DEVELOPER:



006-173-001

APN:

THE HOLMAN BUILDING

542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO.

14146-P

PRINT DATE:

11.2.2015

DRAWN BY:

CHECKED BY:

SET ISSUED:

10.05.15 PLANNING RESUBMITTAL

11.02.15 PLANNING RESUBMITTAL

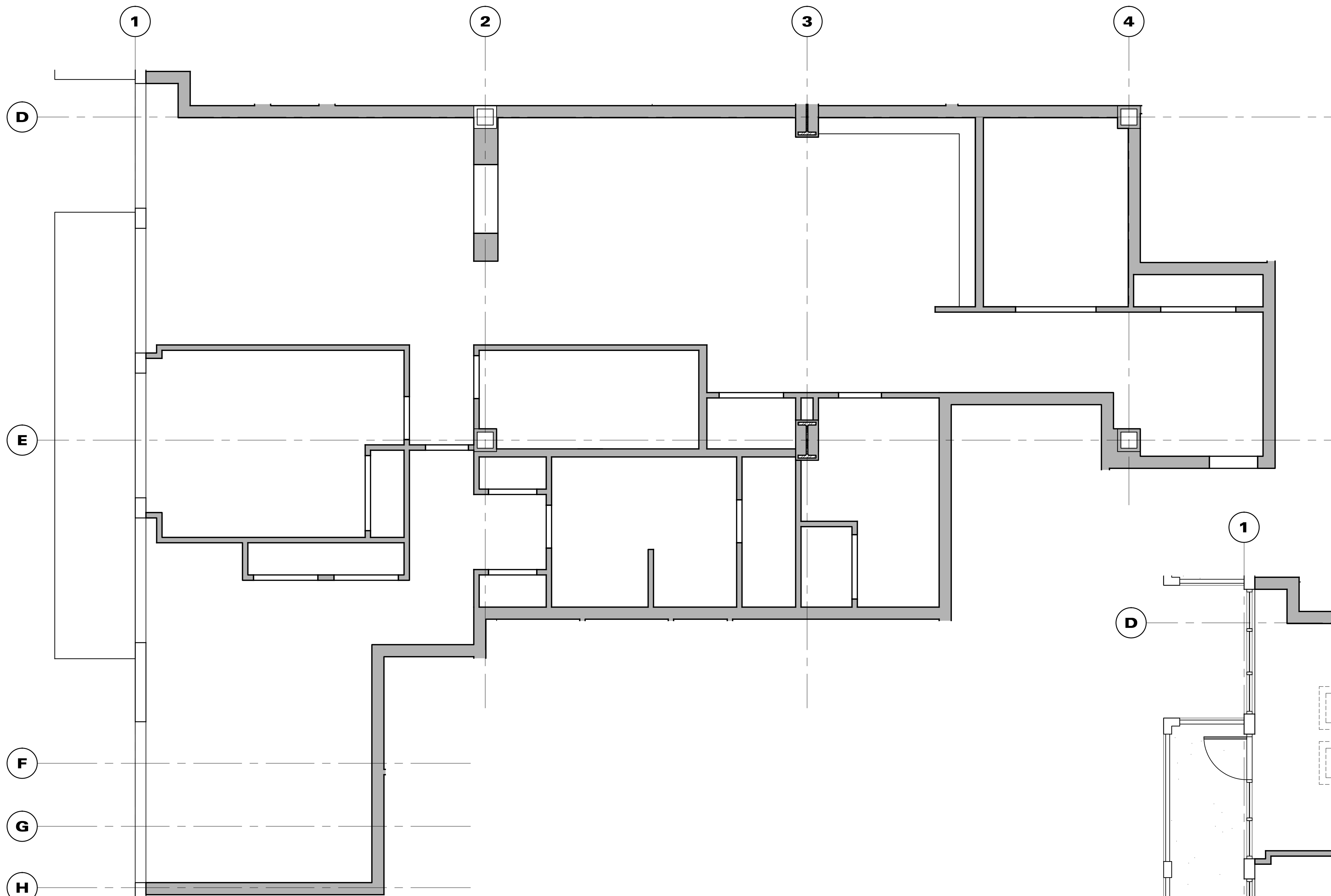
SHEET NAME:

UNIT #307/407
ENLARGED
UNIT PLANS

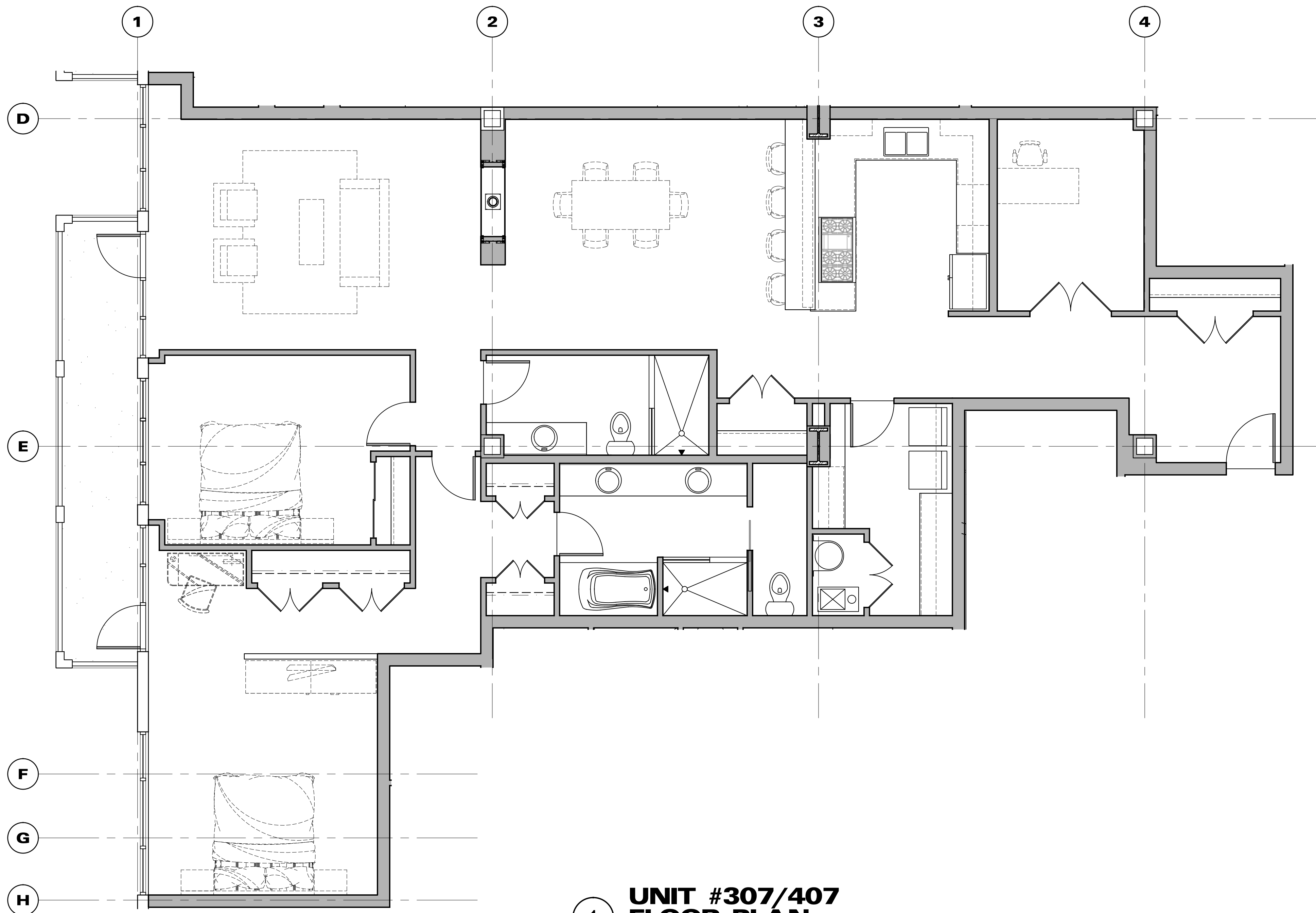
SHEET NO.:

A218

FILE NAME: 14146-A218



2 UNIT #307/407 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 UNIT #307/407 FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEY NOTES

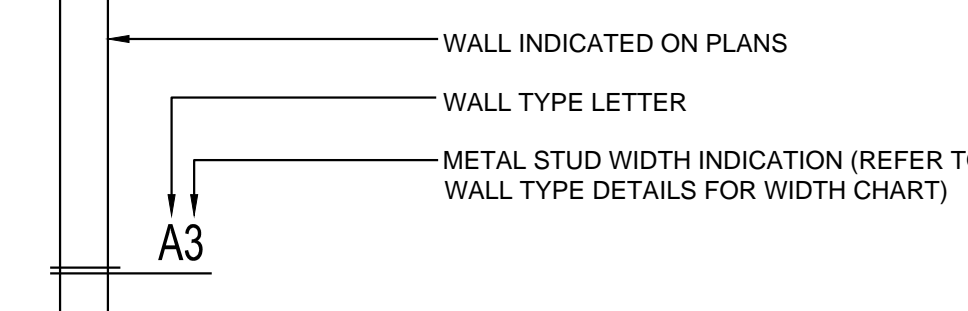
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

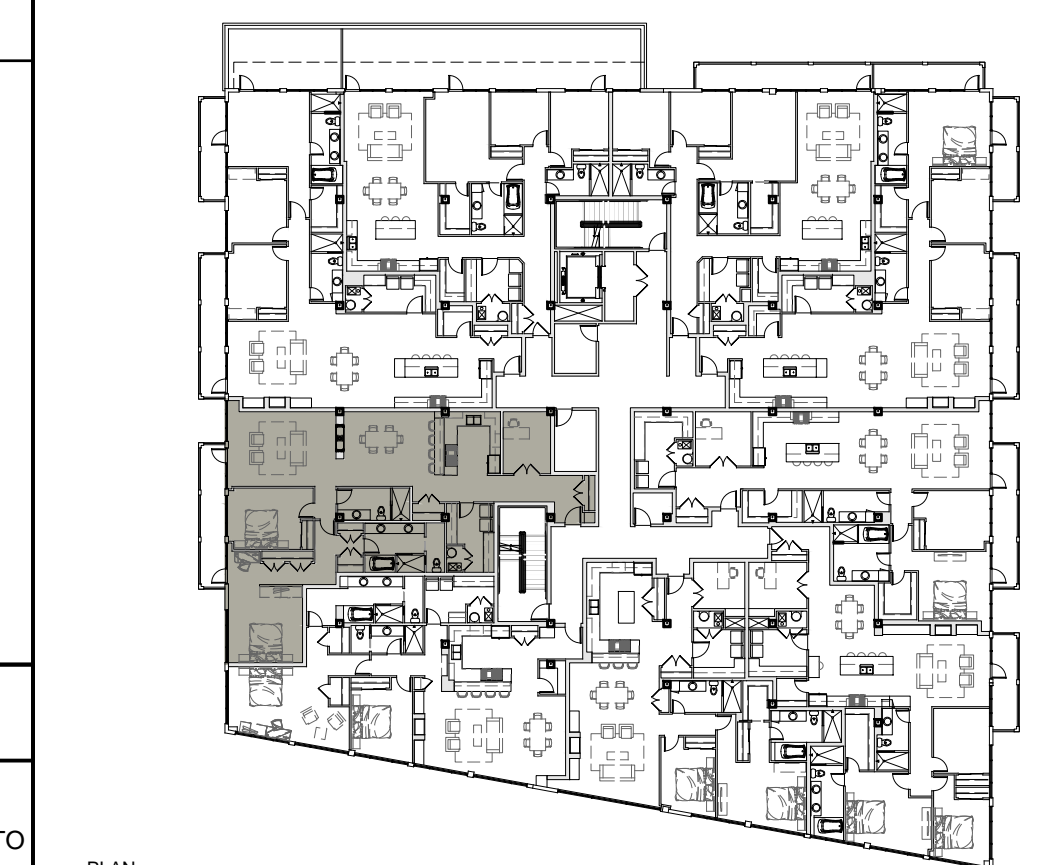
WALL TYPE NOTES

WALL TYPE SYMBOL:
THE SYMBOL ILLUSTRATED BELOW REPRESENTS THE TYPE OF EACH WALL INDICATED BY THE SYMBOL ON THE DRAWINGS. DETAILS OF EACH WALL TYPE ARE REFERENCED BY THE "WALL TYPE LETTER" INDICATED FIRST WITHIN EACH SYMBOL. THE DIGIT AFTER THE WALL TYPE INDICATES THE WALL METAL STUD WIDTH. REFER TO METAL STUD SPAN TABLE & NOTES AND WALL TYPE DETAILS FOR STUD GAGE.



GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



KEY PLAN
SCALE: N.T.S.

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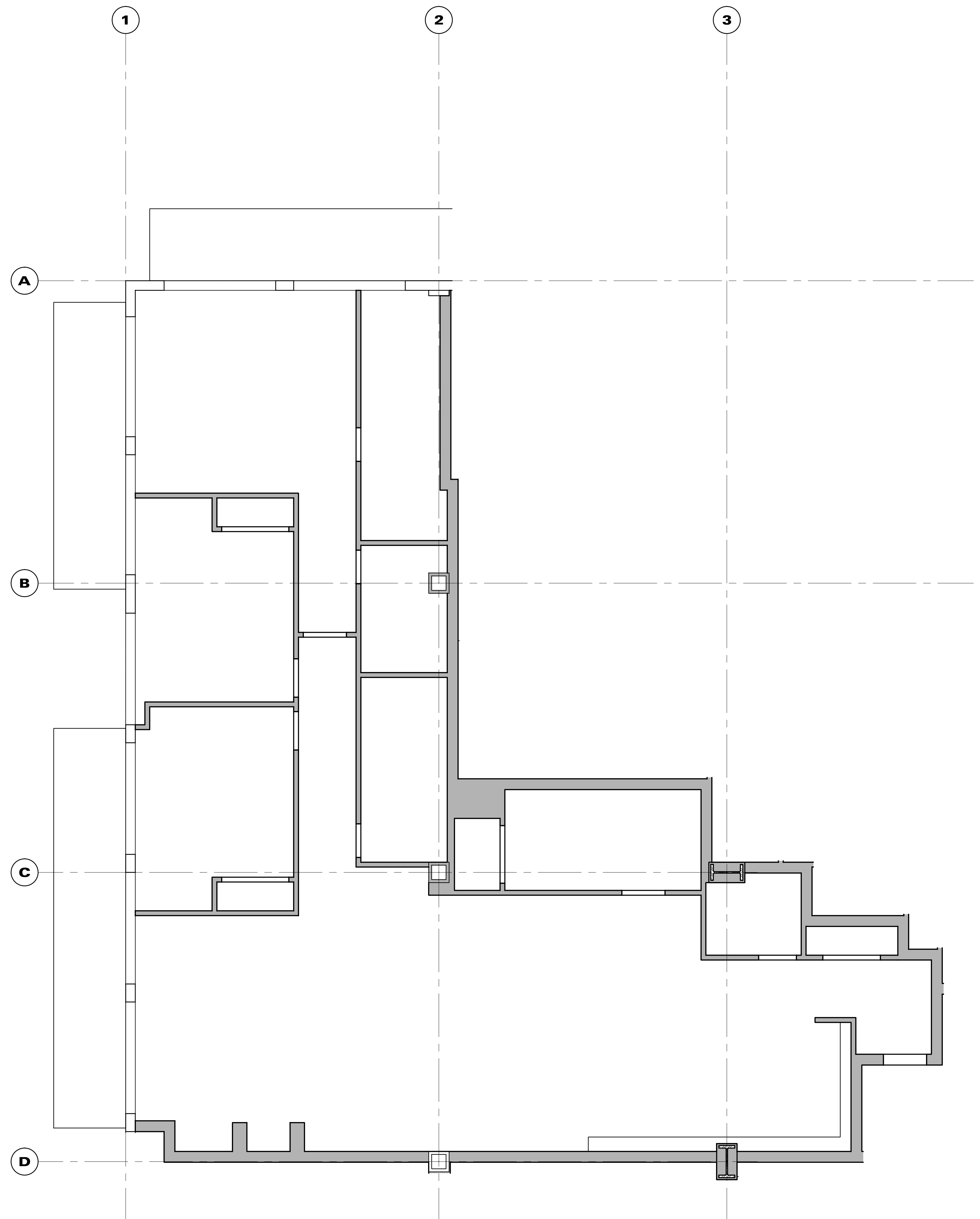
GENERAL CONTRACTOR:

 DEVELOPER:

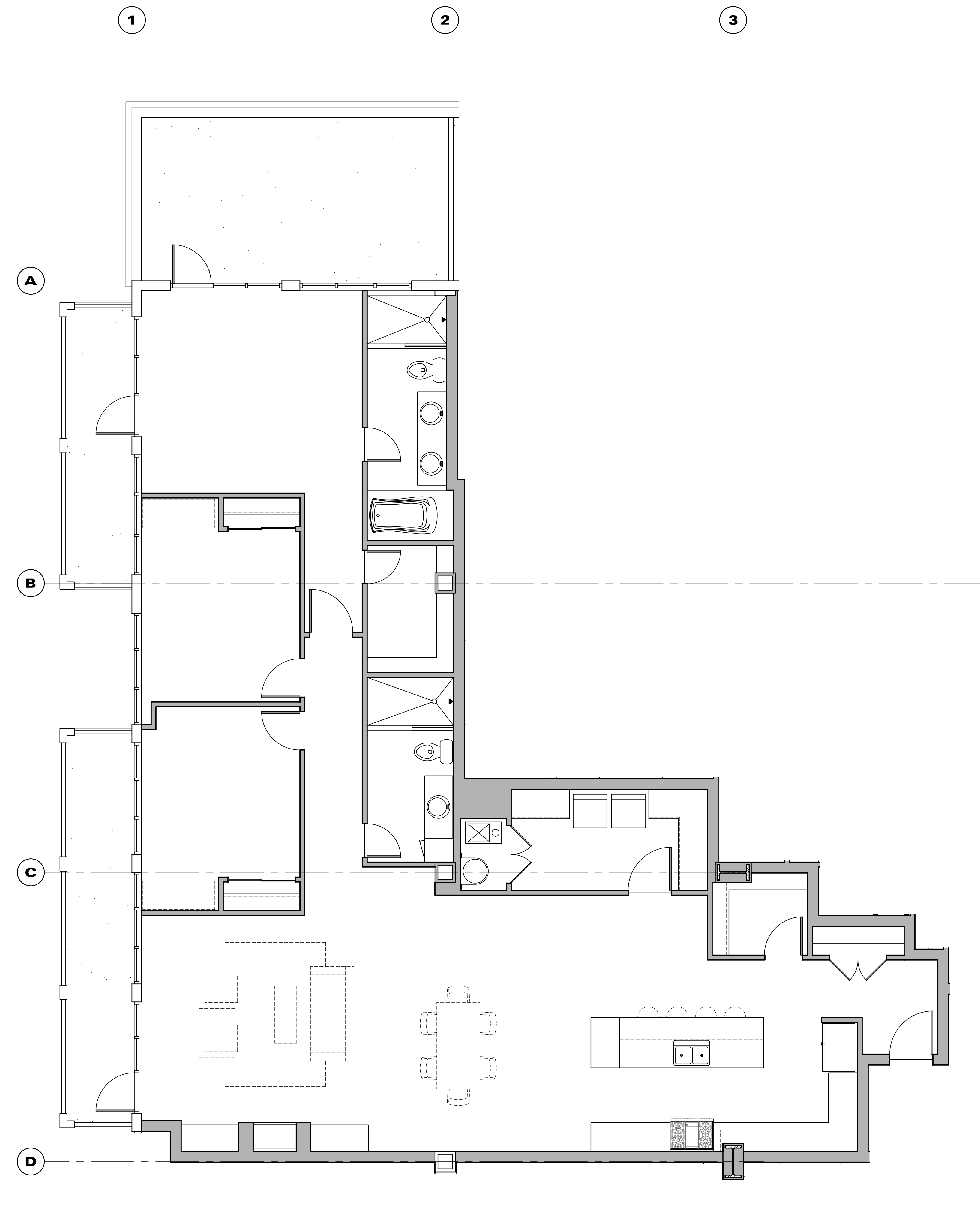

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN.:
 006-173-001

JOB NO.
14146-P
 PRINT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
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SHEET NAME:
UNIT #308/408
ENLARGED
UNIT PLANS
 SHEET NO.:
A219
 FILE NAME: 14146-A219



2 **UNIT #308/408**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

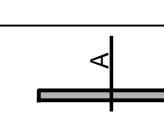


1 **UNIT #308/408**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

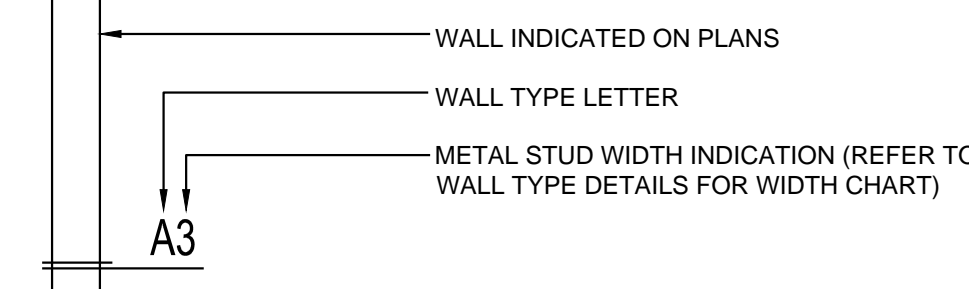
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

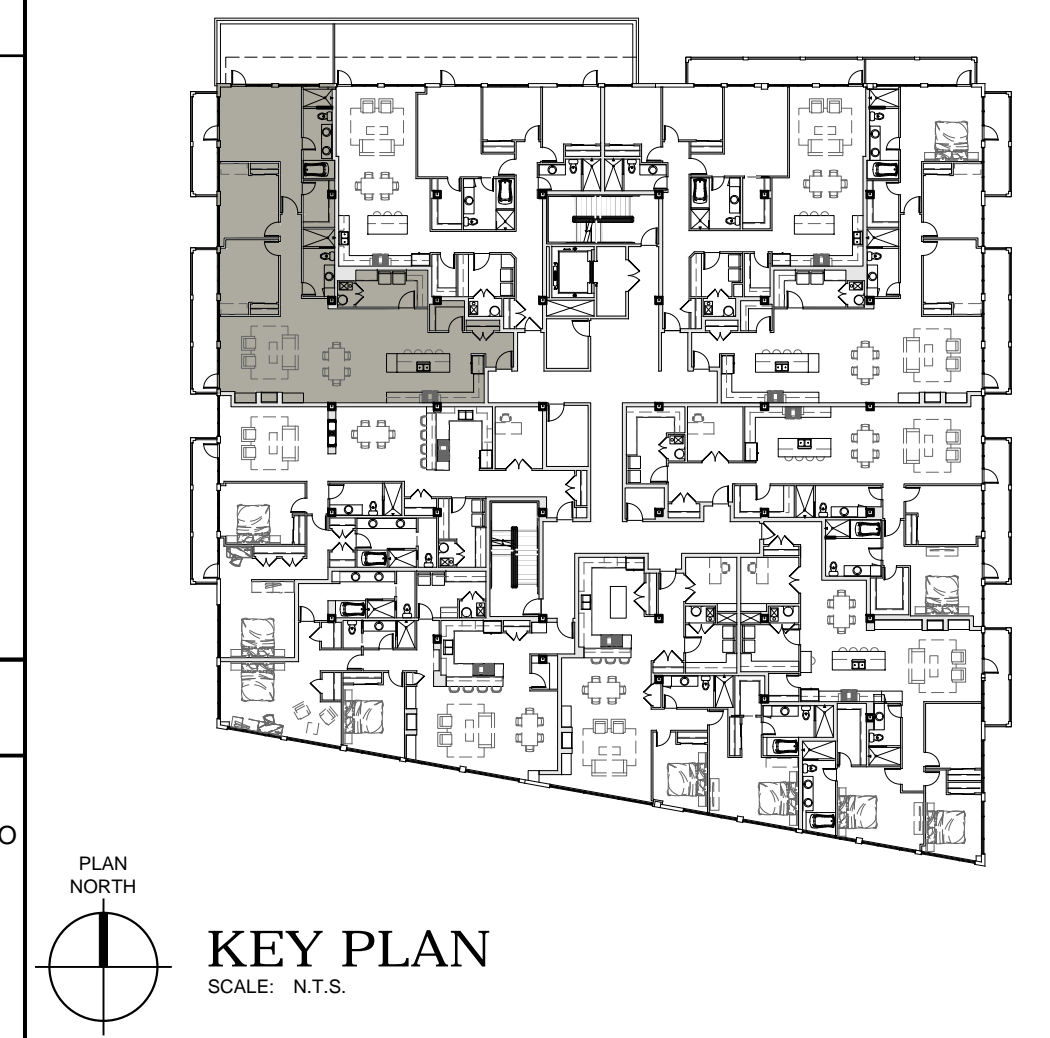
WALL TYPE NOTES

WALL TYPE SYMBOL:
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GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
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- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



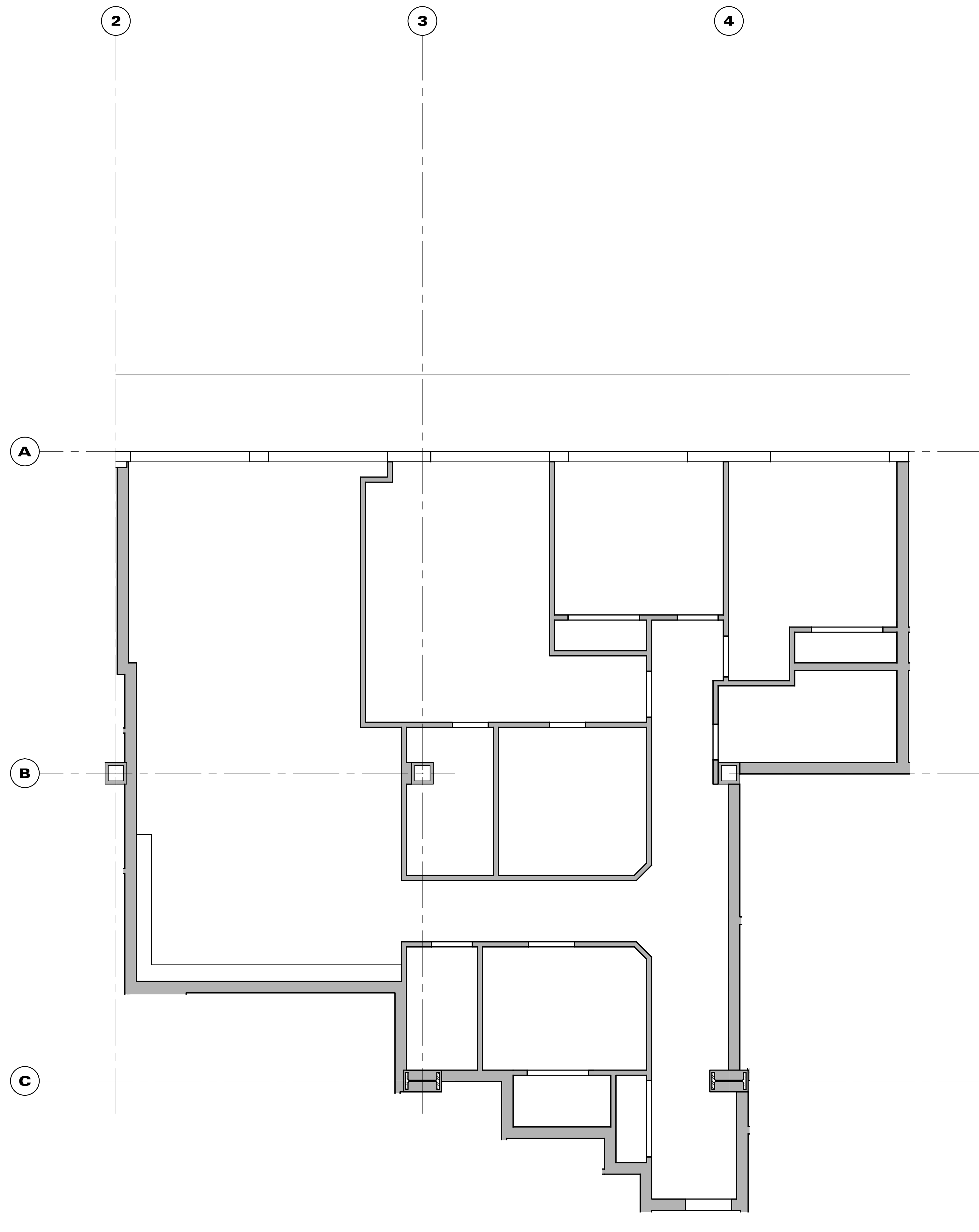
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GENERAL CONTRACTOR:
GOLD COAST DESIGN, INC.
 DEVELOPER:
MONTEREY Capital

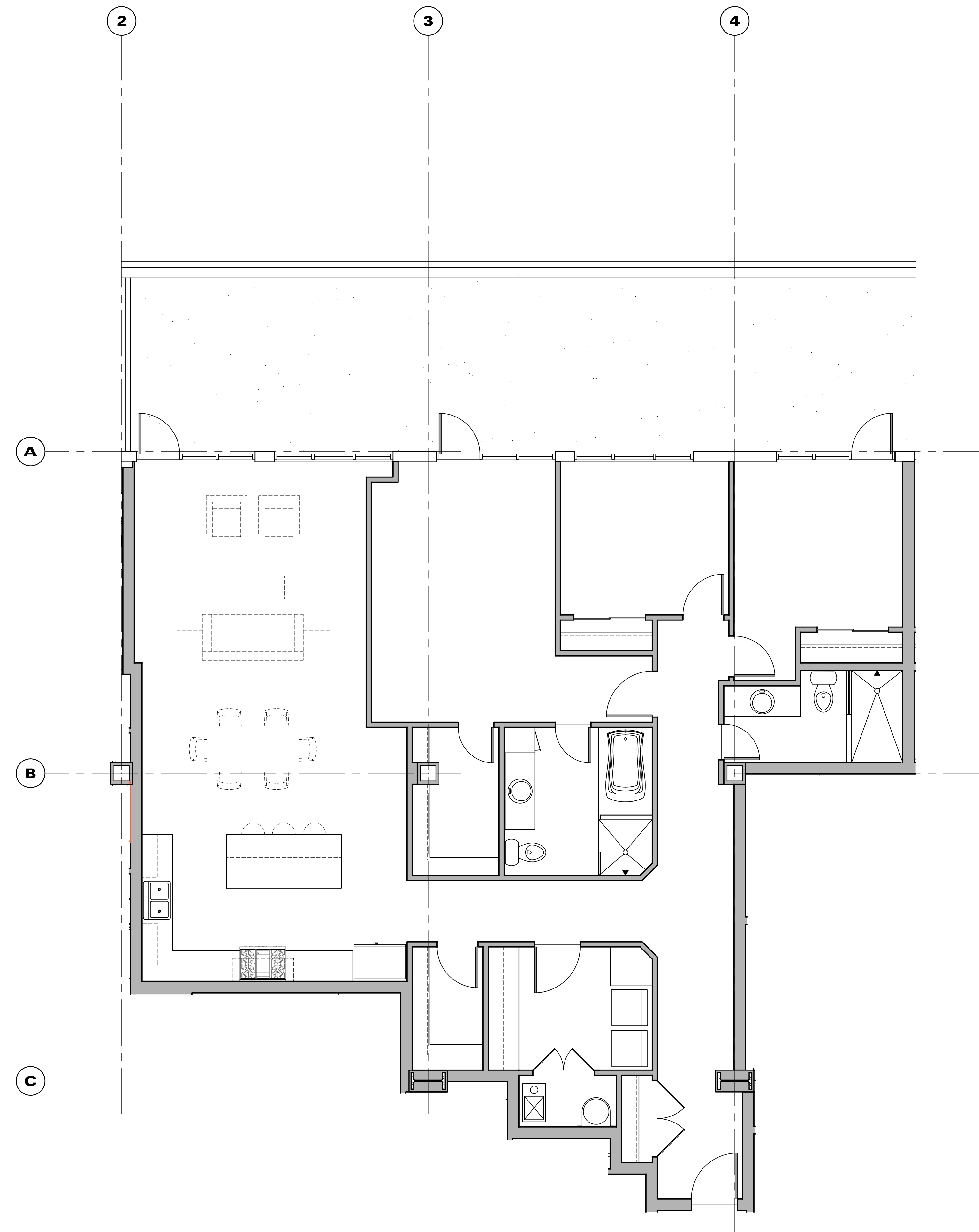
THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

APN.: 006-173-001

SHEET NAME:
UNIT #309/409
ENLARGED
UNIT PLANS
 SHEET NO.:
A220
 FILE NAME: 14146-A220



2 **UNIT #309/409**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



1 **UNIT #309/409**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

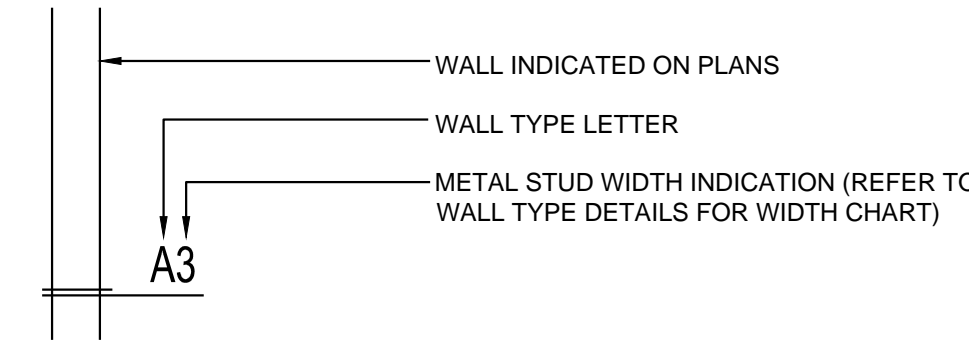
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

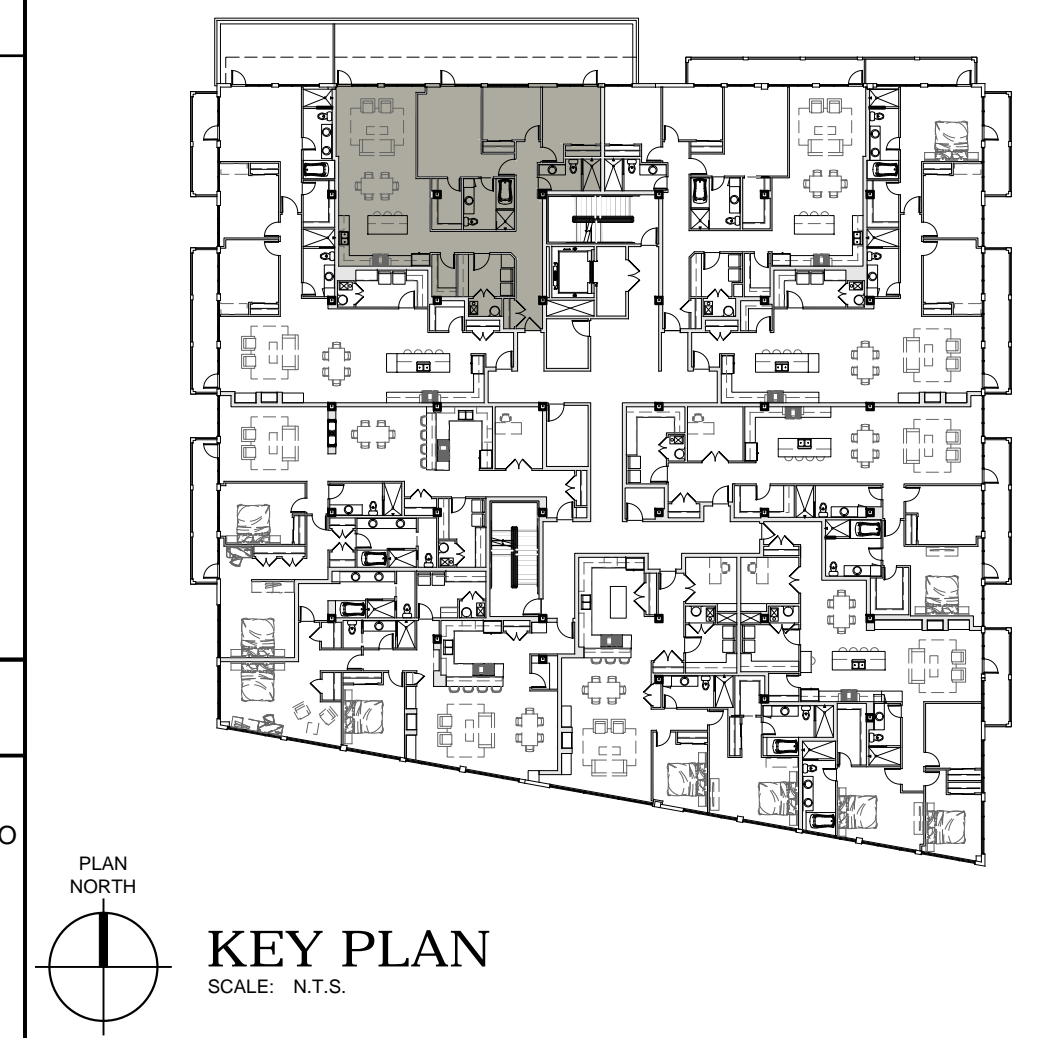
WALL TYPE NOTES

WALL TYPE SYMBOL:
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GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



SCALE: N.T.S.

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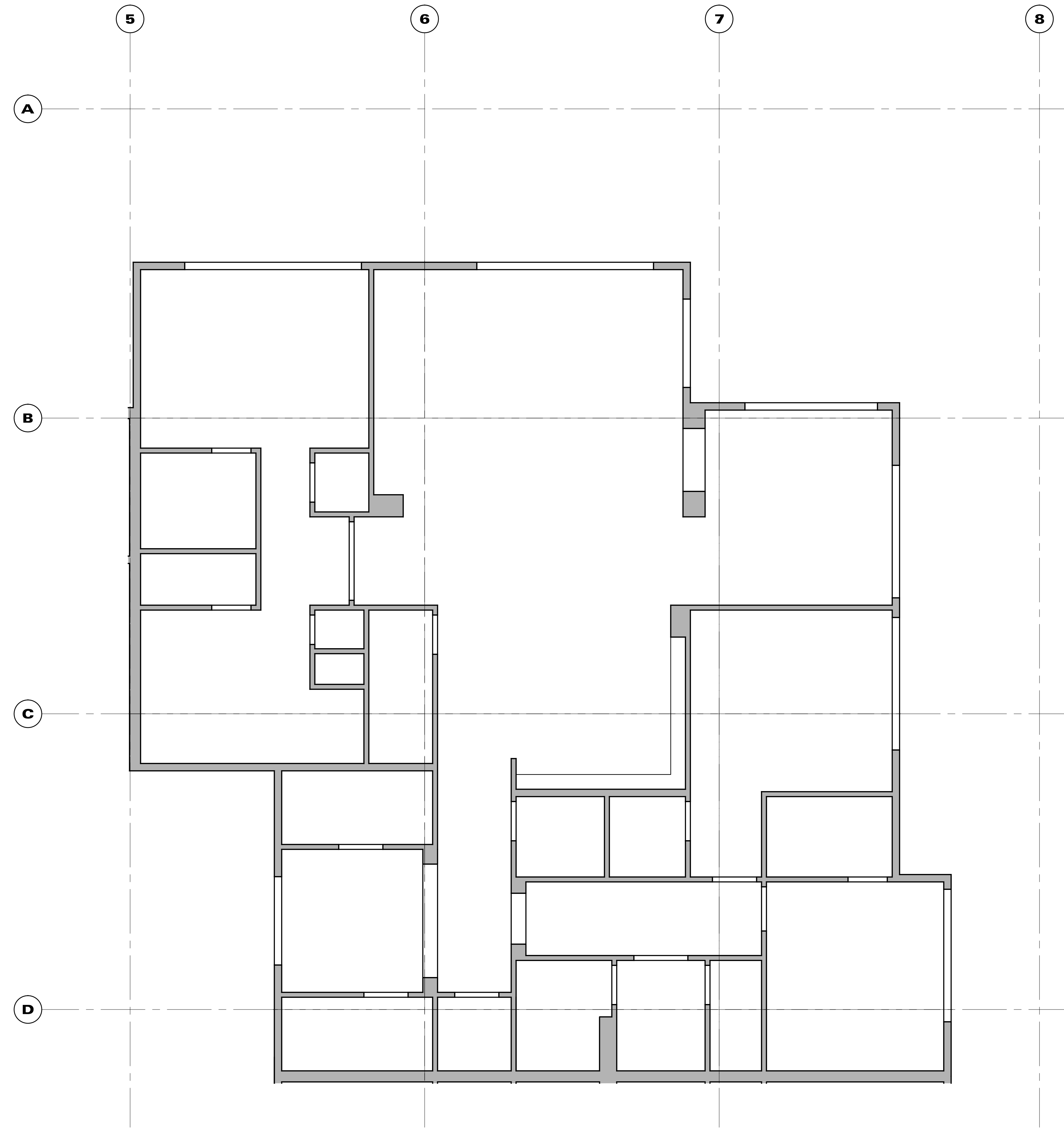
GENERAL CONTRACTOR:

 DEVELOPER:

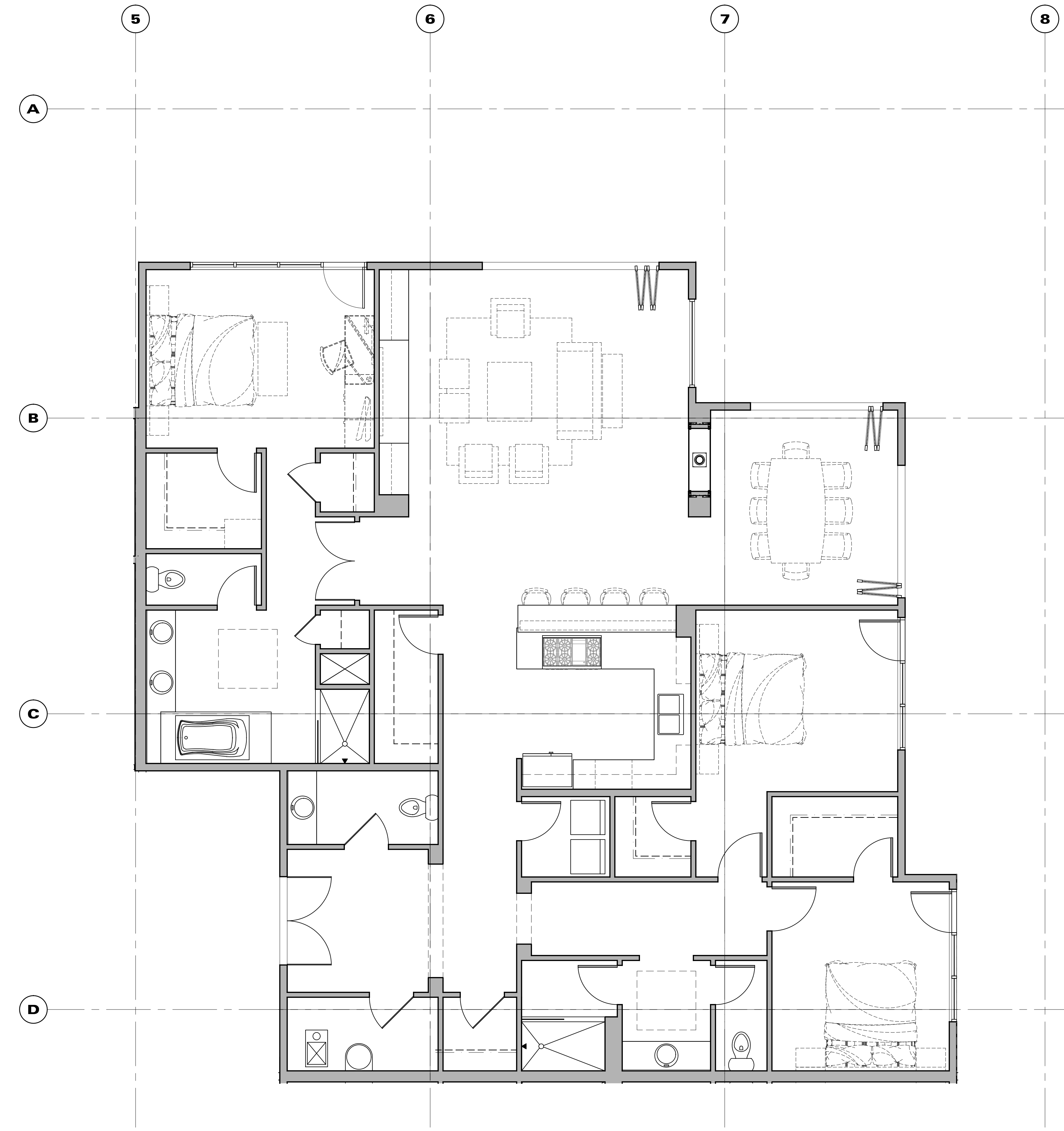

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN.: 006-173-001

JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
UNIT #501
ENLARGED
UNIT PLANS
 SHEET NO.:
A221
 FILE NAME: 14146-A221



2 **UNIT #501 REFLECTED CEILING PLAN**
 SCALE: 1/4" = 1'-0"



1 **UNIT #501 FLOOR PLAN**
 SCALE: 1/4" = 1'-0"

KEY NOTES

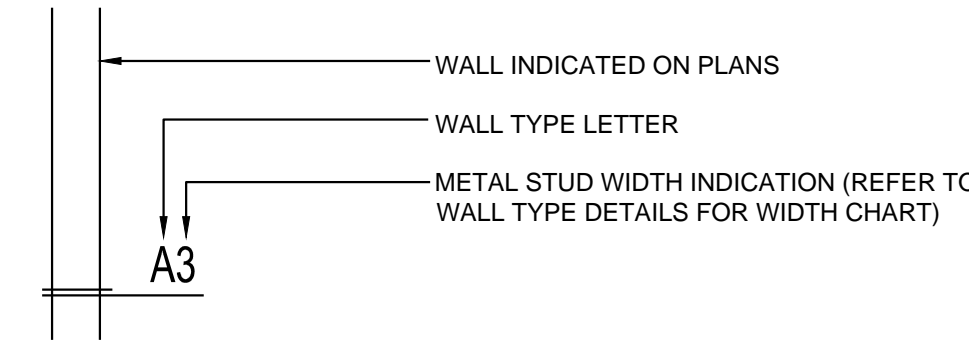
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

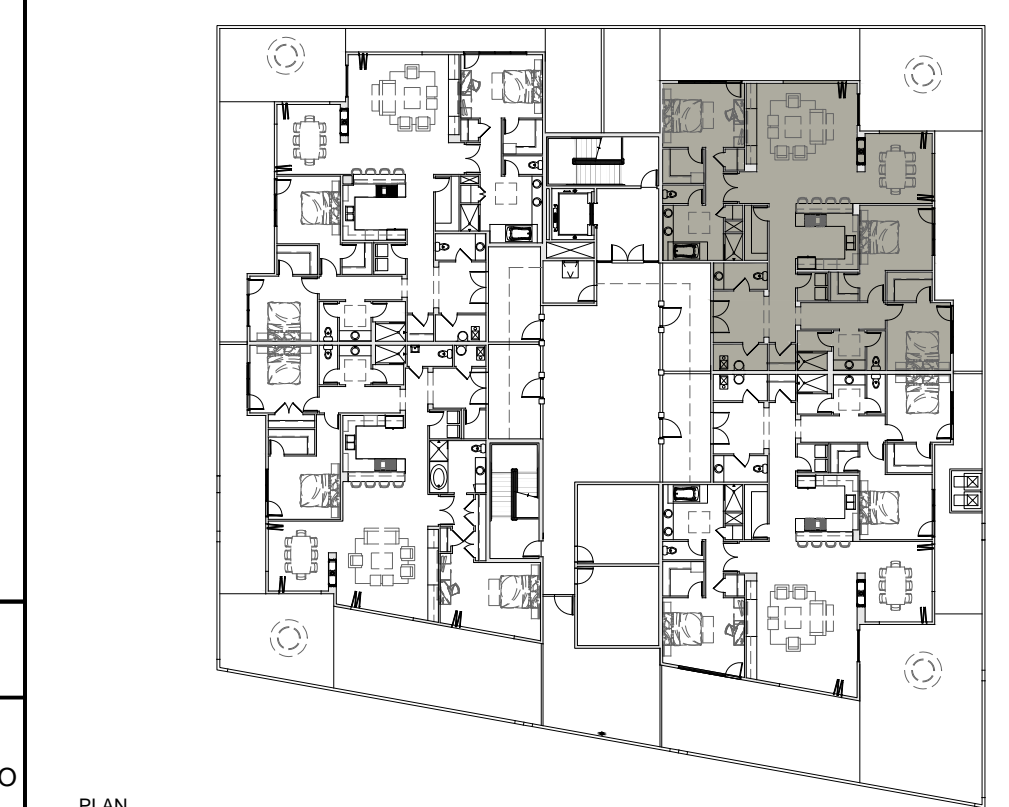
WALL TYPE NOTES

WALL TYPE SYMBOL:
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GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



PLAN NORTH
KEY PLAN
 SCALE: N.T.S.

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GENERAL CONTRACTOR:



DEVELOPER:



006-173-001

APN:

THE HOLMAN BUILDING

542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

JOB NO. 14146-P

PRINT DATE:

PLOT DATE: 11.2.2015

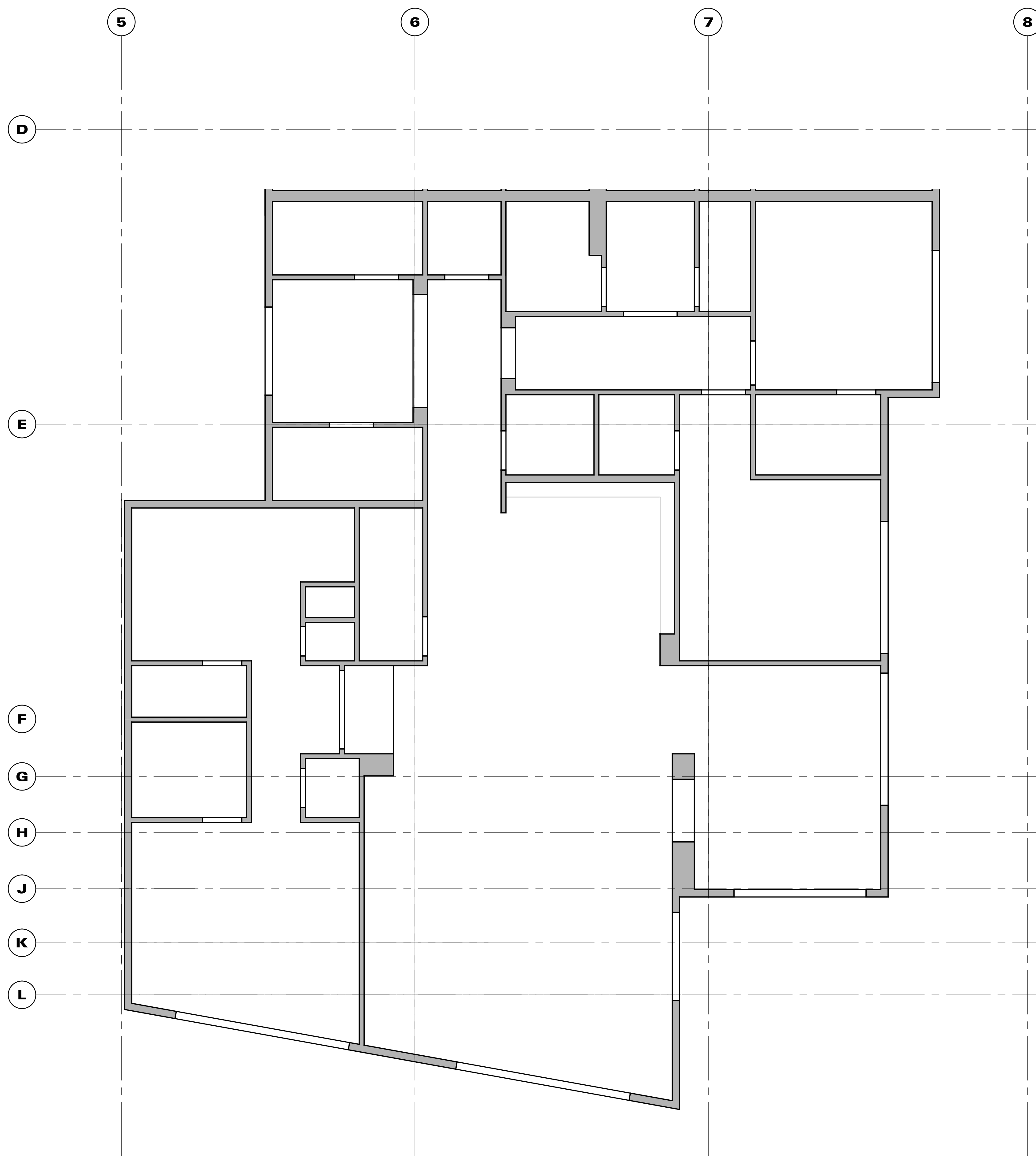
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CHECKED BY:

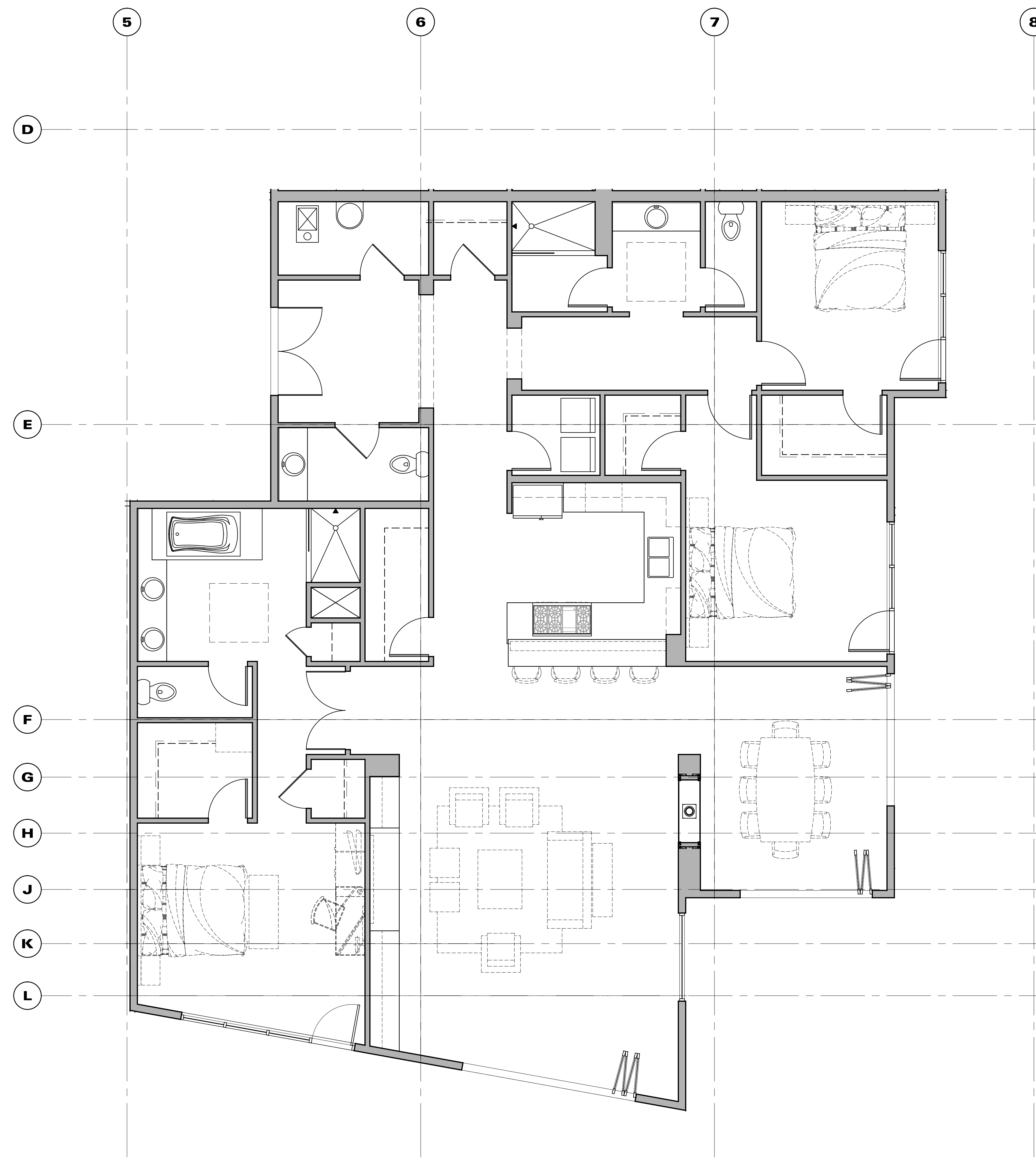
SET ISSUED:

10.05.15 PLANNING RESUBMITTAL

11.02.15 PLANNING RESUBMITTAL



2 UNIT #502 REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



1 UNIT #502 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

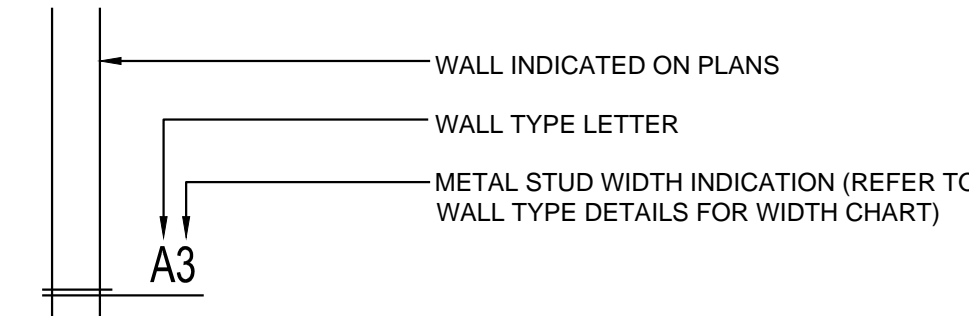
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

WALL TYPE NOTES

WALL TYPE SYMBOL:
 THE SYMBOL ILLUSTRATED BELOW REPRESENTS THE TYPE OF EACH WALL INDICATED BY THE SYMBOL ON THE DRAWINGS. DETAILS OF EACH WALL TYPE ARE REFERENCED BY THE "WALL TYPE LETTER" INDICATED FIRST WITHIN EACH SYMBOL. THE DIGIT AFTER THE WALL TYPE INDICATES THE WALL METAL STUD WIDTH. REFER TO METAL STUD SPAN TABLE & NOTES AND WALL TYPE DETAILS FOR STUD GAGE.



GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



PLAN NORTH
KEY PLAN
 SCALE: N.T.S.

SHEET NAME:
UNIT #502 ENLARGED UNIT PLANS

SHEET NO.:

A222

FILE NAME: 14146-A222

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION HEREIN IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION IN ANY MEDIUM IN WHICHEVER OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

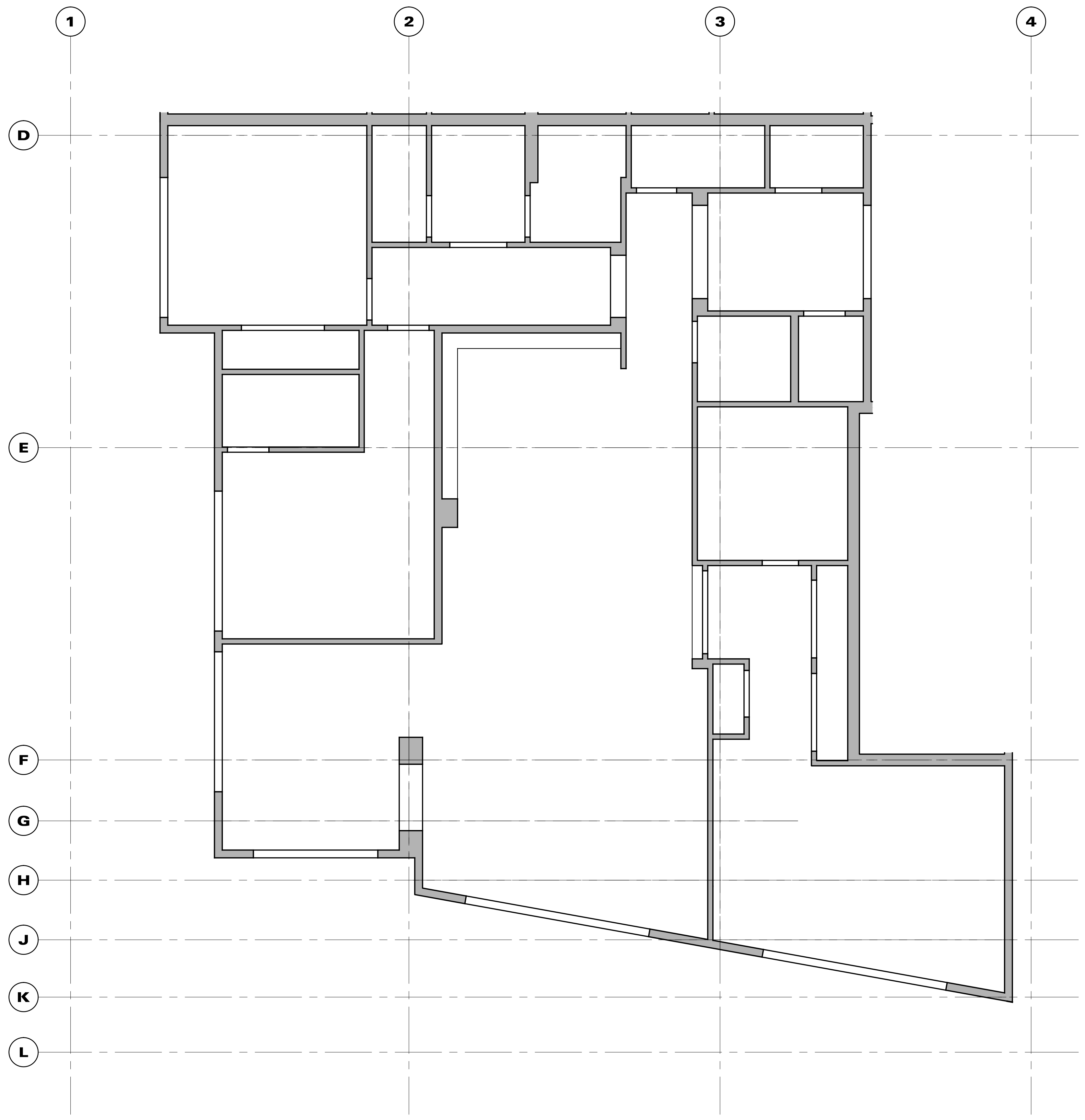
GENERAL CONTRACTOR:

 DEVELOPER:

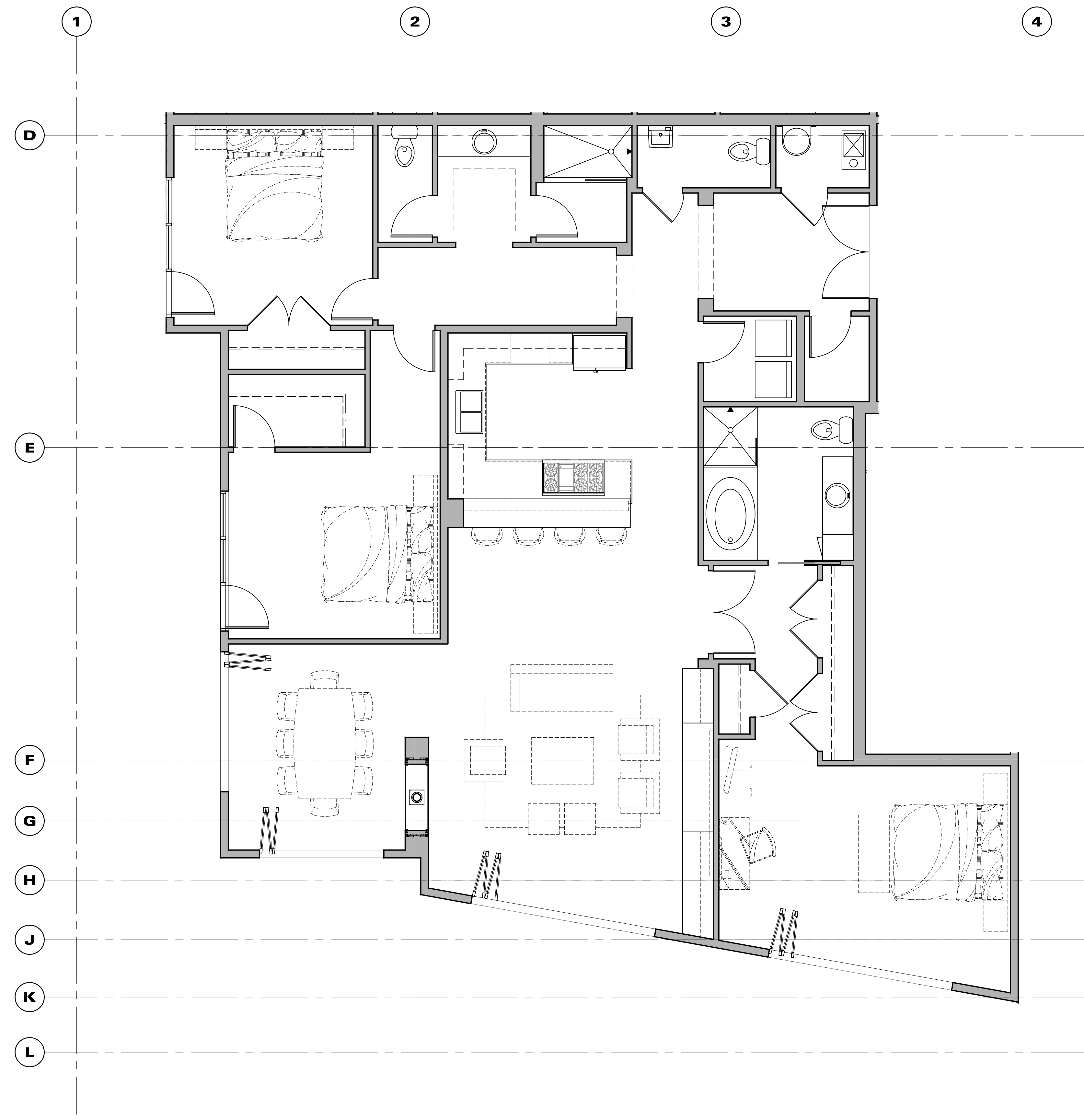

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN.: 006-173-001

JOB NO.
14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
UNIT #503
ENLARGED
UNIT PLANS
 SHEET NO.:
A223
 FILE NAME: 14146-A223



2 **UNIT #503**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

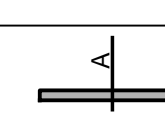


1 **UNIT #503**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

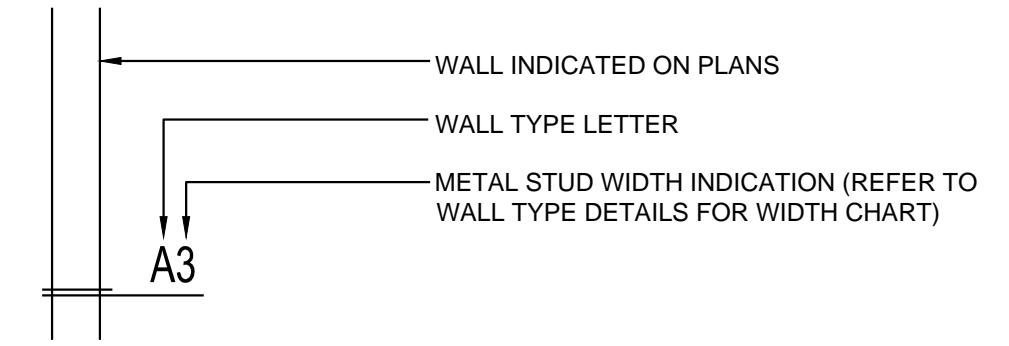
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

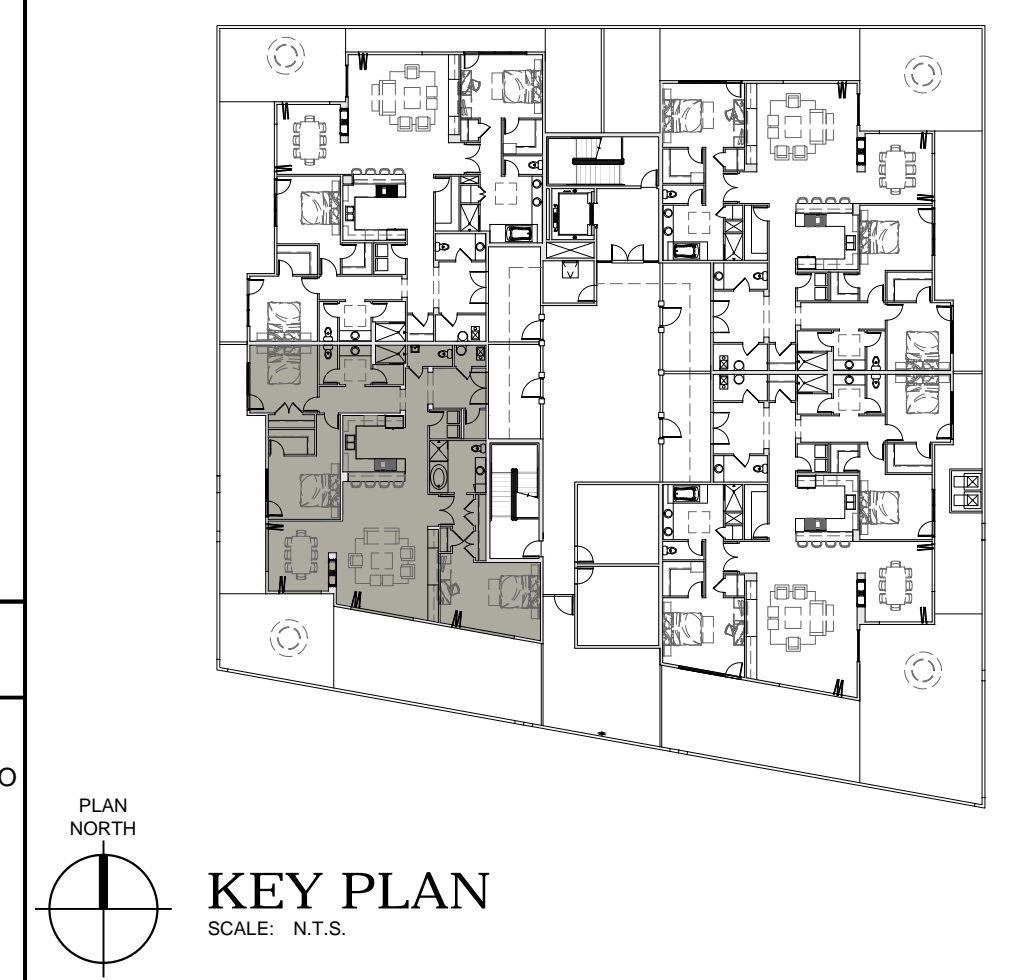
WALL TYPE NOTES

WALL TYPE SYMBOL:
 THE SYMBOL ILLUSTRATED BELOW REPRESENTS THE TYPE OF EACH WALL INDICATED BY THE SYMBOL ON THE DRAWINGS. DETAILS OF EACH WALL TYPE ARE REFERENCED BY THE "WALL TYPE LETTER" INDICATED FIRST WITHIN EACH SYMBOL. THE DIGIT AFTER THE WALL TYPE INDICATES THE WALL METAL STUD WIDTH. REFER TO METAL STUD SPAN TABLE & NOTES AND WALL TYPE DETAILS FOR STUD GAGE.



GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



A223

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION HEREIN IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD OR IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

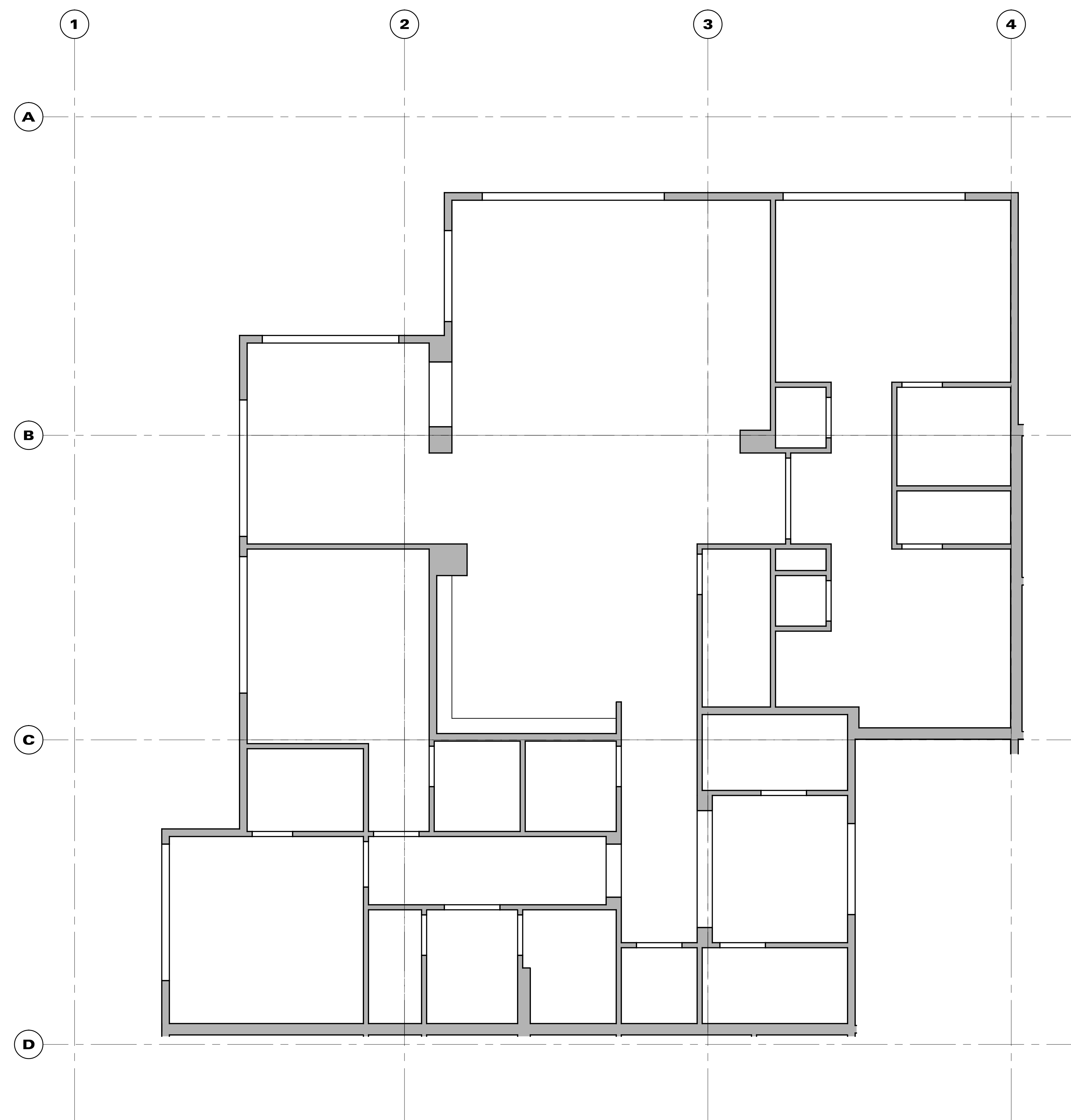
GENERAL CONTRACTOR:

 DEVELOPER:

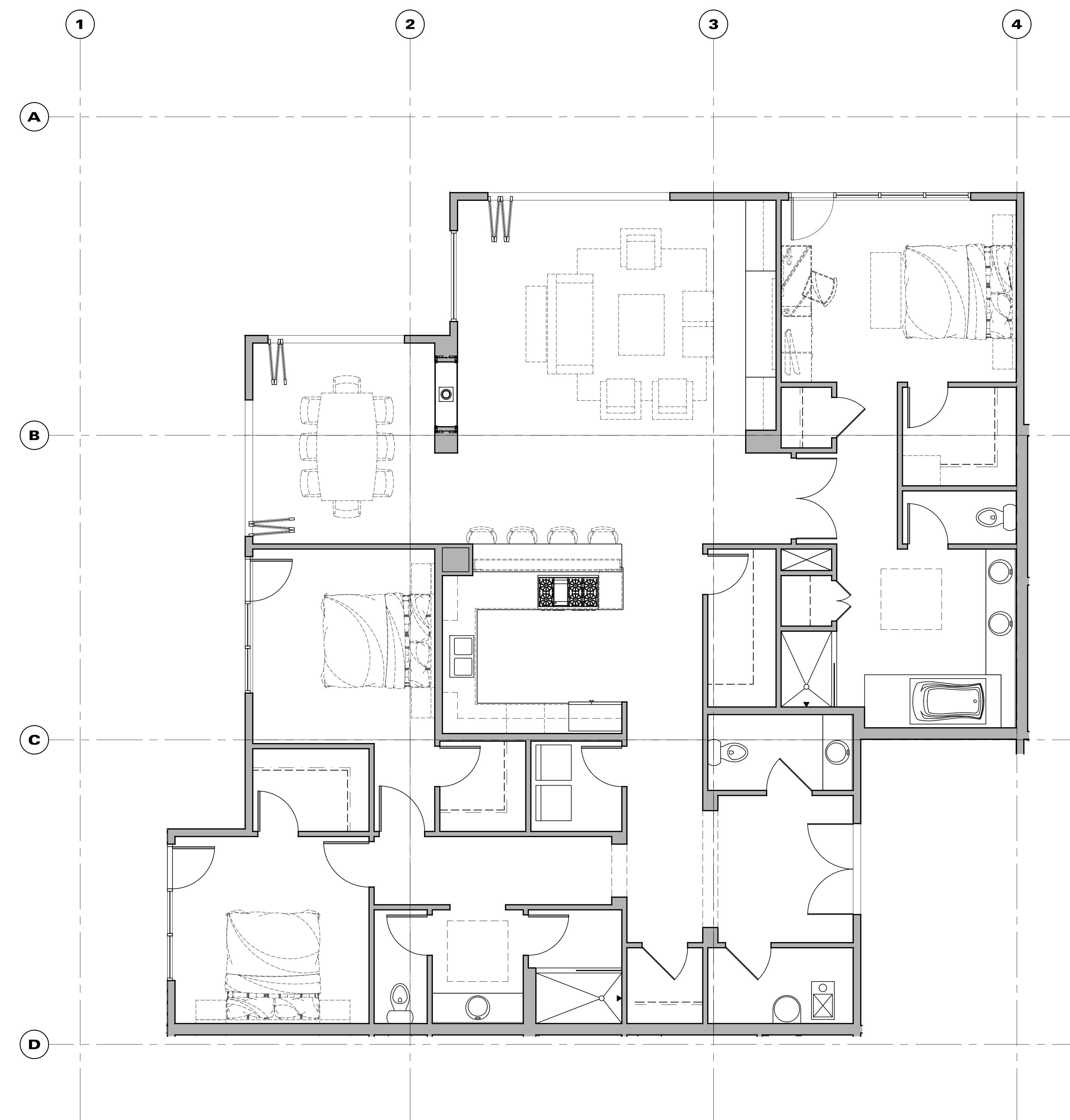

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 APN.:
 006-173-001

JOB NO.
14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
UNIT #504
ENLARGED
UNIT PLANS
 SHEET NO.:
A224
 FILE NAME: 14146-A224



2 **UNIT #504**
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

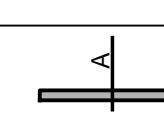


1 **UNIT #504**
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KEY NOTES

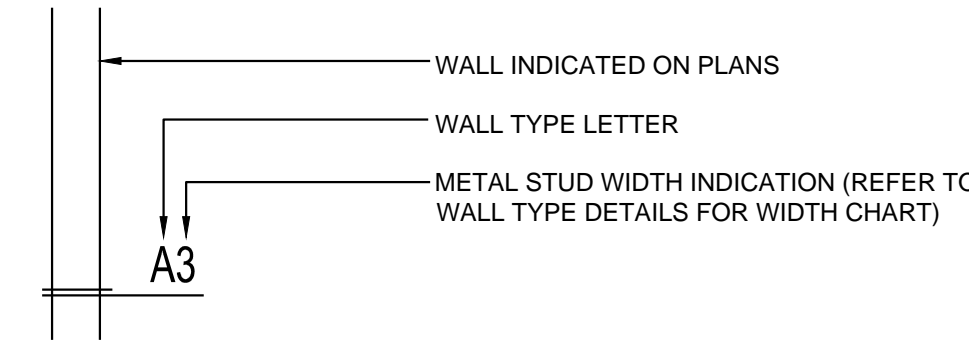
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

PARTITION SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	TYPE A - CEMENT PLASTER EXTERIOR WALL	X/A800

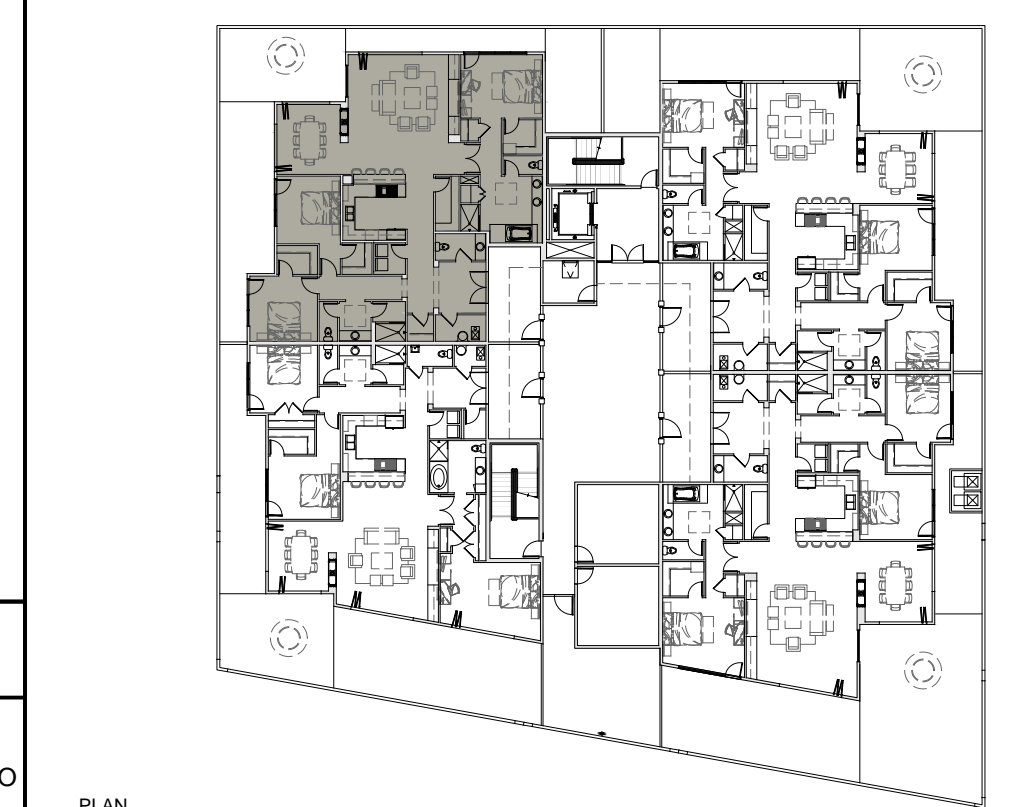
WALL TYPE NOTES

WALL TYPE SYMBOL:
 THE SYMBOL ILLUSTRATED BELOW REPRESENTS THE TYPE OF EACH WALL INDICATED BY THE SYMBOL ON THE DRAWINGS. DETAILS OF EACH WALL TYPE ARE REFERENCED BY THE "WALL TYPE LETTER" INDICATED FIRST WITHIN EACH SYMBOL. THE DIGIT AFTER THE WALL TYPE INDICATES THE WALL METAL STUD WIDTH. REFER TO METAL STUD SPAN TABLE & NOTES AND WALL TYPE DETAILS FOR STUD GAGE.



GENERAL NOTES

- SEE PLUMBING PLANS FOR PLUMBING FIXTURES INFORMATION.
- ALL TOILET ROOM ACCESSORIES TO BE BOBRICK OR EQUAL MANUFACTURER AND TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET A901 FOR TOILET ROOM CONSTRUCTION AND ACCESSIBILITY DETAILS.
- LAVATORIES TO BE INTEGRAL CORIAN BOWL, U.O.N.
- PROVIDE TWO (2) 15" BREAD BOARDS IN KITCHEN PER CBC 1132A.4.



KEY PLAN
 SCALE: N.T.S.

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION HEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD OR IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

GENERAL CONTRACTOR:
GOLD COAST DESIGN, INC.
DEVELOPER:
MONTEREY CAPITAL

006-173-001
APN:

THE HOLMAN BUILDING
542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO.
14146-P
PRINT DATE: 11.2.2015
DRAWN BY: AGL
CHECKED BY: KT/HR
SET ISSUED:
10.05.15 PLANNING RESUBMITTAL
11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
ROOF PLAN

SHEET NO.:
A240

FILE NAME: 14146-A240

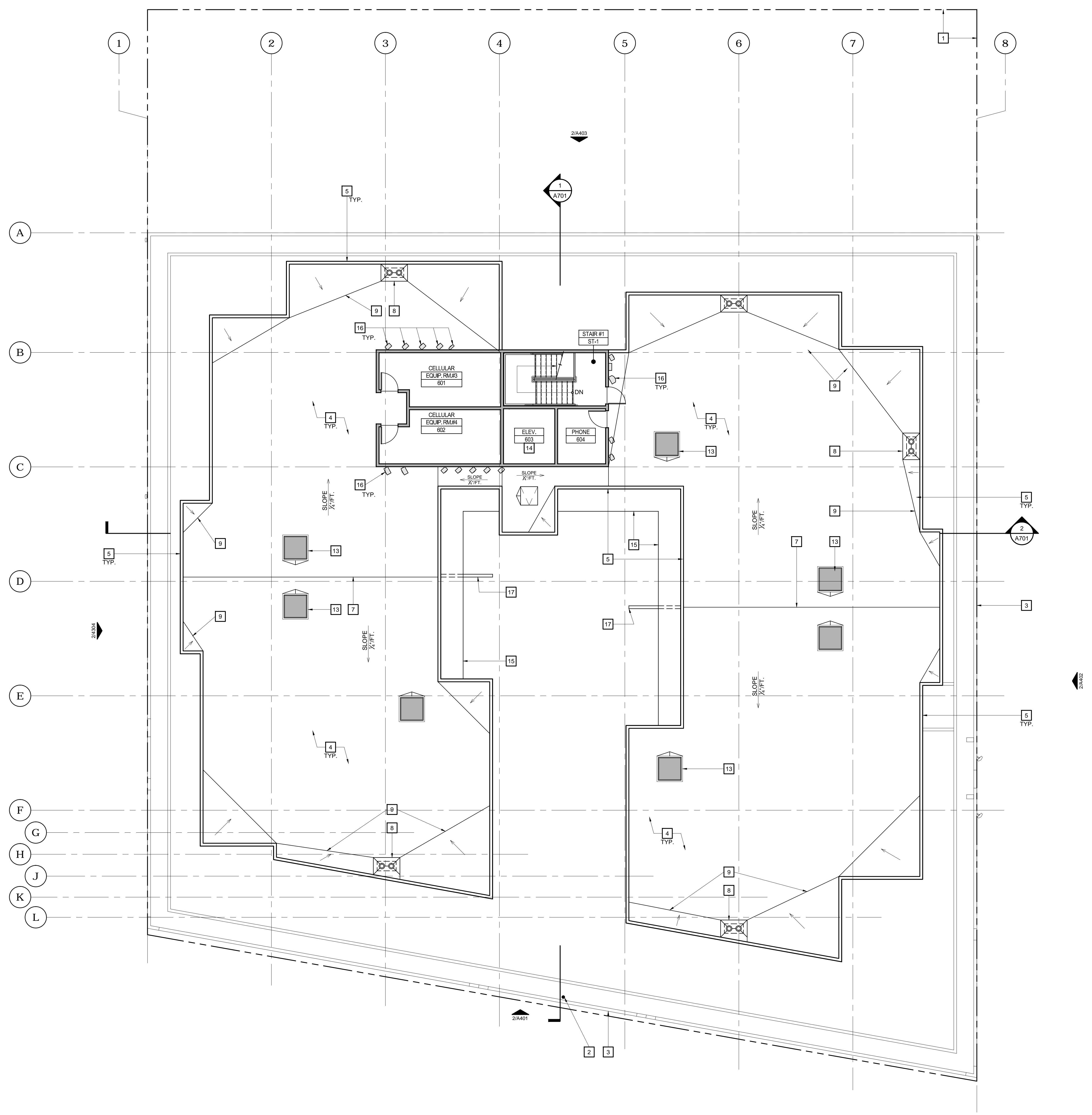
KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 INDICATES EXISTING PROPERTY LINE.
- 2 INDICATES EXISTING FLAG POLE.
- 3 INDICATES EXISTING PARAPET WALL AT PENTHOUSE/ROOF FLOOR BELOW.
- 4 THERMOPLASTIC POLYOLEFIN (TPO) ROOF SYSTEM.
- 5 INDICATES PARAPET.
- 6 GALVANIZED ROOF ACCESS LADDER WITH RAILS.
- 7 INDICATES LOW-SLOPE ROOF RIDGE LINE.
- 8 ROOF DRAIN AND OVERFLOW.
- 9 INDICATES CRICKET TO ROOF DRAIN.
- 10 SCUPPER AT PARAPET.
- 11 NOT USED.
- 12 ROOF ACCESS HATCH.
- 13 4X4 SKYLIGHT.
- 14 ELEVATOR SHAFT LOCATION ABOVE ROOF.
- 15 SUN SHADE.
- 16 RELOCATED CELLULAR ANTENNA EQUIPMENT. SEE DEMOLITION ROOF PLAN, TYP. AS SHOWN.
- 17 DIVIDER WALL BELOW.

ROOF PLAN GENERAL NOTES

- 1. 1/4" / FT. ROOF PITCH U.N.O. - SEE ROOF PLAN.



PLAN NORTH
TRUE NORTH
ROOF PLAN
SCALE: 1/8"=1'-0"

SPECIALTY NOTES

WINDOW NOTES

- NEW WINDOW TYPES SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.
- ALL HARDWARE, FRAME FINISH AND COMPANION HARDWARE SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLAN AND INTERIOR / EXTERIOR ELEVATIONS FOR VERIFICATION OF QUANTITY AND LOCATIONS OF WINDOW TYPES.
- DIRECTION OF WINDOW OPERATION SHOWN ON INTERIOR / EXTERIOR ELEVATIONS BY ARROW FOR SLIDING WINDOW AND DASHED LINE FOR SWINGING WINDOW.
- WINDOW SIZES ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD SIZES.
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE APPROVED SAFETY GLASS AND COMPLY W/SECTION 2406 OF THE CURRENT EDITION OF THE U.B.C. ALL GLAZING SHALL BE SAFETY GLAZED WHEN LOCATED WITHIN 60" OF THE WALKING SURFACE OR WITHIN 24" HORIZONTAL DISTANCE FROM ANY DOOR. A CERTIFICATE MUST ACCOMPANY ALL GLAZING PRODUCTS STATING THAT THE PRODUCTS CONFIRM WITH APPLICABLE CONSUMER PRODUCT SAFETY STANDARDS.
- ALL ROUGH OPENING DIMENSION SHALL BE FIELD VERIFIED. WINDOW FRAME AND GLAZING SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.
- ALL HARDWARE, FRAME FINISH, AND COMPANION HARDWARE SHALL MATCH THE EXISTING CONDITION.
- ALL HOLLOW METAL WINDOW FRAMES SHALL HAVE WELDED CORNERS, GROUND SMOOTH, WITH REINFORCED CORNERS AND HINGE LOCATIONS.
- SEE SHEET A232 FOR WINDOW TYPES

WINDOW SCHEDULE

NUMBER	WINDOW		SIZE		DETAIL REFERENCE				NOMINAL HEAD HEIGHT	GLASS TYPE	NOTES	
	TYPE	GLAZING		WIDTH	HEIGHT	REFER TO SHT.						
		SINGLE	DOUBLE			HEAD	JAMB	SILL				MUL.
421	D	●	5'-2"	6'-0"							EGRESS	
422	D	●	5'-2"	7'-9"							EGRESS	
423	X	●	7'-9"	6'-0"								
424	Y	●	7'-9"	6'-0"							EGRESS	
425	X	●	7'-9"	6'-0"								
426	Y	●	7'-9"	6'-0"								
427	X	●	7'-9"	6'-0"							EGRESS	
428	Y	●	7'-9"	6'-0"								
429	X	●	7'-9"	6'-0"								
430	E	●	7'-9"	6'-0"								
431	Z	●	7'-9"	6'-0"							EGRESS	
432	Y	●	7'-9"	6'-0"								
433	Y	●	7'-9"	6'-0"							EGRESS	
434	Y	●	7'-9"	6'-0"								
435	X	●	7'-9"	6'-0"								
436	Y	●	7'-9"	6'-0"								
437	X	●	7'-9"	6'-0"								
438	Y	●	7'-9"	6'-0"							EGRESS	
439	Y	●	7'-9"	6'-0"							EGRESS	
440	Q	●	10'-0"	6'-0"							EGRESS	
441	Q	●	10'-0"	6'-0"							EGRESS	
442	S	●	10'-4"	6'-0"								
443	S	●	10'-4"	6'-0"								
444	S	●	10'-4"	6'-0"							EGRESS	
445	S	●	10'-4"	6'-0"								
446	S	●	10'-4"	6'-0"								
447	T	●	9'-6"	5'-8"								
448	T	●	9'-6"	5'-8"								
449	S	●	10'-4"	6'-0"							EGRESS	
450	S	●	10'-4"	6'-0"								
451	S	●	10'-4"	6'-0"								
452	S	●	10'-4"	6'-0"							EGRESS	
453	S	●	10'-4"	6'-0"							EGRESS	
501	AA	●	6'-0"	7'-0"								
502	AB	●	9'-0"	8'-0"								
503	AB	●	9'-0"	8'-0"								
504	AB	●	9'-0"	8'-0"								
505	AB	●	9'-0"	8'-0"								
506	AA	●	9'-0"	8'-0"								
507	AC	●	12'-0"	8'-0"								
508	AC	●	12'-0"	8'-0"								
509	AA	●	6'-0"	7'-0"								
510	AB	●	9'-0"	8'-0"								
511	AB	●	9'-0"	8'-0"								
512	AB	●	9'-0"	8'-0"								
513	AB	●	9'-0"	8'-0"								
514	AC	●	12'-0"	8'-0"								

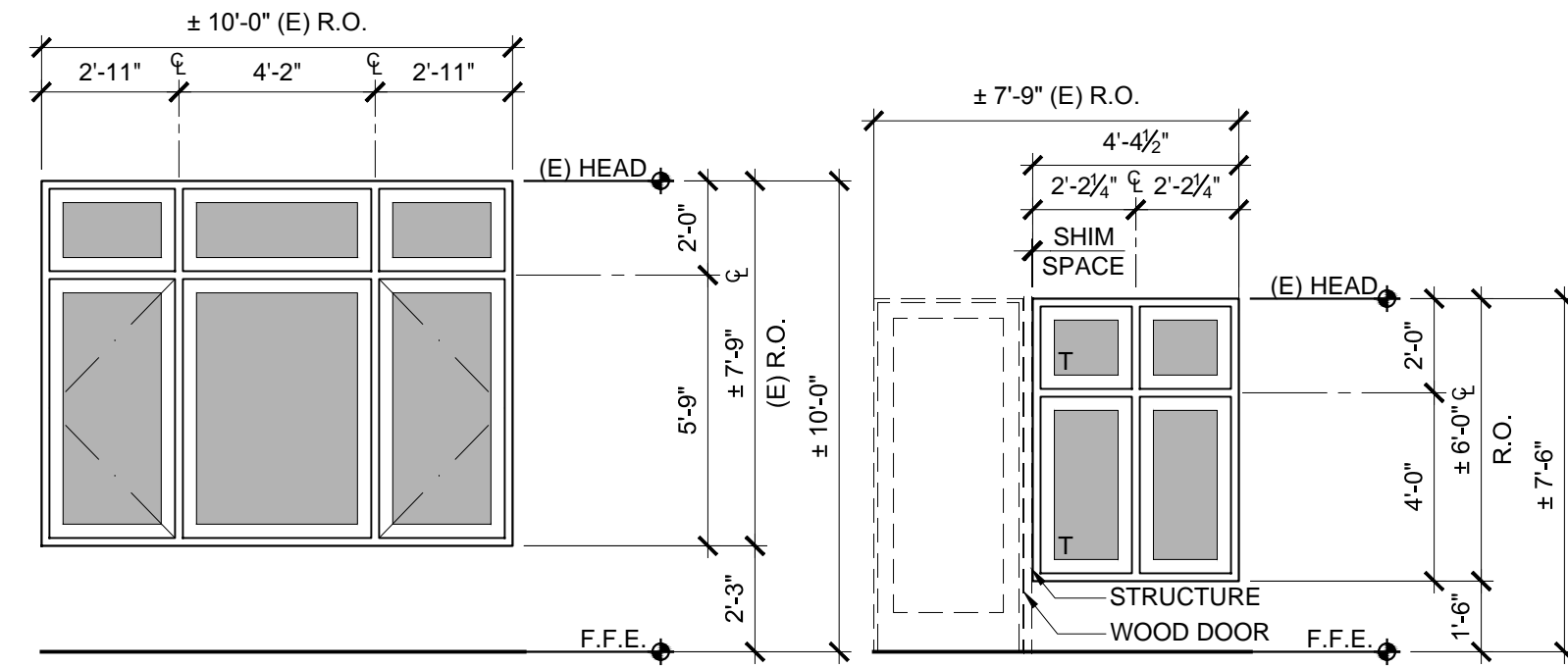
WINDOW SCHEDULE

NUMBER	WINDOW		SIZE		DETAIL REFERENCE				NOMINAL HEAD HEIGHT	GLASS TYPE	NOTES	
	TYPE	GLAZING		WIDTH	HEIGHT	REFER TO SHT.						
		SINGLE	DOUBLE			HEAD	JAMB	SILL				MUL.
301	H	●	10'-0"	7'-9"							EGRESS	
302	W	●	10'-0"	7'-9"								
303	J	●	7'-9"	7'-9"							EGRESS	
304	I	●	7'-9"	7'-9"								
305	J	●	7'-9"	7'-9"								
306	I	●	7'-9"	7'-9"								
307	J	●	7'-9"	7'-9"							EGRESS	
308	I	●	7'-9"	7'-9"								
309	J	●	7'-9"	7'-9"								
310	I	●	7'-9"	7'-9"								
311	J	●	7'-9"	7'-9"								
312	J	●	7'-9"	7'-9"							EGRESS	
313	J	●	7'-9"	7'-9"							EGRESS	
314	N	●	8'-4"	7'-9"								
315	K	●	8'-4"	7'-9"								
316	K	●	8'-4"	7'-9"								
317	N	●	8'-4"	7'-9"								
318	K	●	8'-4"	7'-9"								
319	N	●	8'-4"	7'-9"								
320	R	●	5'-2"	7'-9"							EGRESS	
321	R	●	5'-2"	7'-9"							EGRESS	
322	R	●	5'-2"	7'-9"								
323	I	●	7'-9"	7'-9"								
324	J	●	7'-9"	7'-9"							EGRESS	
325	I	●	7'-9"	7'-9"								
326	J	●	7'-9"	7'-9"								
327	I	●	7'-9"	7'-9"								
328	J	●	7'-9"	7'-9"								
329	I	●	7'-9"	7'-9"							EGRESS	
330	K	●	8'-4"	7'-9"								
331	N	●	8'-4"	7'-9"							EGRESS	
332	J	●	7'-9"	7'-9"							EGRESS	
333	J	●	7'-9"	7'-9"							EGRESS	
334	J	●	7'-9"	7'-9"								
335	I	●	7'-9"	7'-9"								
336	J	●	7'-9"	7'-9"								
337	I	●	7'-9"	7'-9"								
338	J	●	7'-9"	7'-9"							EGRESS	
339	I	●	7'-9"	7'-9"								
340	H	●	10'-0"	7'-9"								
341	H	●	10'-0"	7'-9"							EGRESS	
342	O	●	10'-4"	7'-9"								
343	O	●	10'-4"	7'-9"								
344	O	●	10'-4"	7'-9"							EGRESS	
345	O	●	10'-4"	7'-9"								
346	O	●	10'-4"	7'-9"								
347	P	●	19'-9"	8'-6"								
348	O	●	10'-4"	7'-9"								
349	O	●	10'-4"	7'-9"							EGRESS	
350	O	●	10'-4"	7'-9"								
351	O	●	10'-4"	7'-9"							EGRESS	
352	O	●	10'-4"	7'-9"							EGRESS	
401	Q	●	10'-0"	6'-0"							EGRESS	
402	Q	●	10'-0"	6'-0"								
403	Y	●	7'-9"	6'-0"							EGRESS	
404	X	●	7'-9"	6'-0"								
405	Y	●	7'-9"	6'-0"								
406	X	●	7'-9"	6'-0"								
407	Y	●	7'-9"	6'-0"							EGRESS	
408	X	●	7'-9"	6'-0"								
409	Y	●	7'-9"	6'-0"								
410	X	●	7'-9"	6'-0"								
411	Y	●	7'-9"	6'-0"								
412	Y	●	7'-9"	6'-0"							EGRESS	
413	Y	●	7'-9"	6'-0"								
414	Z	●	8'-4"	6'-0"							EGRESS	
415	E	●	8'-4"	6'-0"							EGRESS	
416	E	●	8'-4"	6'-0"								
417	Z	●	8'-4"	6'-0"								
418	E	●	8'-4"	6'-0"								
419	Z	●	8'-4"	6'-0"								
420	D	●	5'-2"	6'-0"							EGRESS	

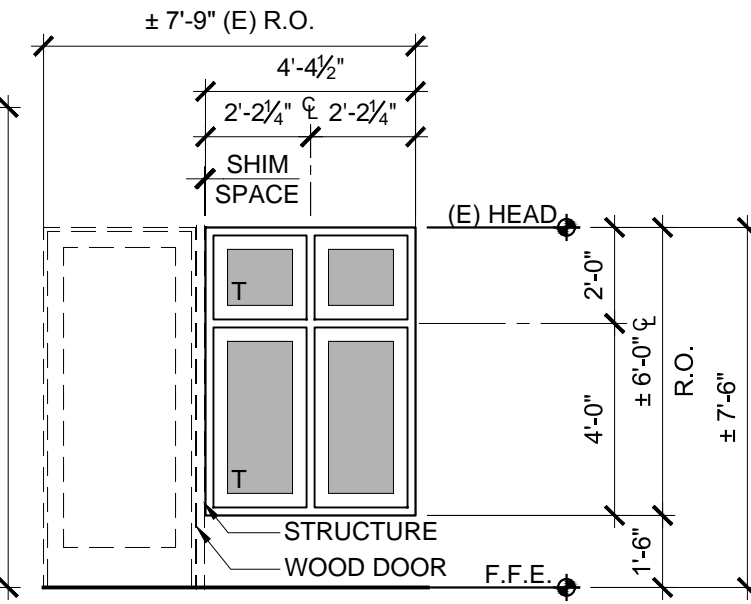
WINDOW SCHEDULE

NUMBER	WINDOW		SIZE		DETAIL REFERENCE				NOMINAL HEAD HEIGHT	GLASS TYPE	NOTES	
	TYPE	GLAZING		WIDTH	HEIGHT	REFER TO SHT.						
		SINGLE	DOUBLE			HEAD	JAMB	SILL				MUL.
101	A	●	7'-9"	6'-0"								
102	A	●	7'-9"	6'-0"								
103	A	●	7'-9"	6'-0"								
104	A	●	7'-9"	6'-0"								
105	M	●	8'-4"	6'-0"								
106	M	●	8'-4"	6'-0"								
107	M	●	8'-4"	6'-0"							EGRESS	
108	M	●	8'-4"	6'-0"								
109	M	●	8'-4"	6'-0"								
110	B	●	8'-4"	6'-0"								
111	C	●	5'-2"	6'-0"								
112	U	●	5'-2"	6'-0"							EGRESS	
113	U	●	5'-2"	6'-0"							EGRESS	
114	V	●	4'-0"	6'-0"								
115	V	●	4'-0"	6'-0"								
116	A	●	7'-9"	6'-0"								
117	A	●	7'-9"	6'-0"								
118	A	●	7'-9"	6'-0"								
119	A	●	7'-9"	6'-0"								
120	A	●	7'-9"	6'-0"							EGRESS	
121	A	●	7'-9"	6'-0"							EGRESS	
122	A	●	7'-9"	6'-0"								
123	V	●	4'-0"	6'-0"								
124	V	●	4'-0"	6'-0"							EGRESS	
125	M	●	8'-4"	6'-0"								
126	M	●	8'-4"	6'-0"								
127	A	●	7'-9"	6'-0"								
128	A	●	7'-9"	6'-0"								
129	A	●	7'-9"	6'-0"								
130	A	●	7'-9"	6'-0"								
131	A	●	7'-9"	6'-0"							EGRESS	
132	A	●	7'-9"	6'-0"							EGRESS	
201	F	●	7'-9"	4'-0"								
202	F	●	7'-9"	4'-0"								
203	F	●	7'-9"	4'-0"								
204	F	●	7'-9"	4'-0"								
205	F	●	7'-9"	4'-0"								
206	F	●	7'-9"	4'-0"							EGRESS	
207	F	●	7'-9"	4'-0"								
208	F	●	7'-9"	4'-0"								

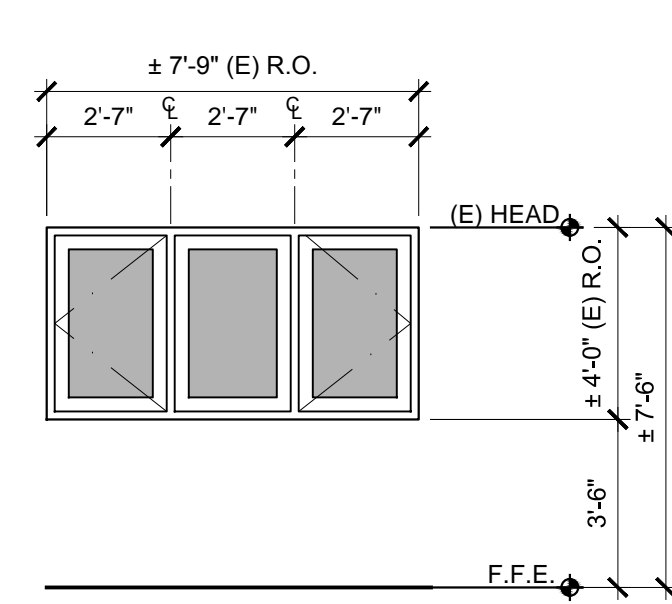
WINDOW SCHEDULE



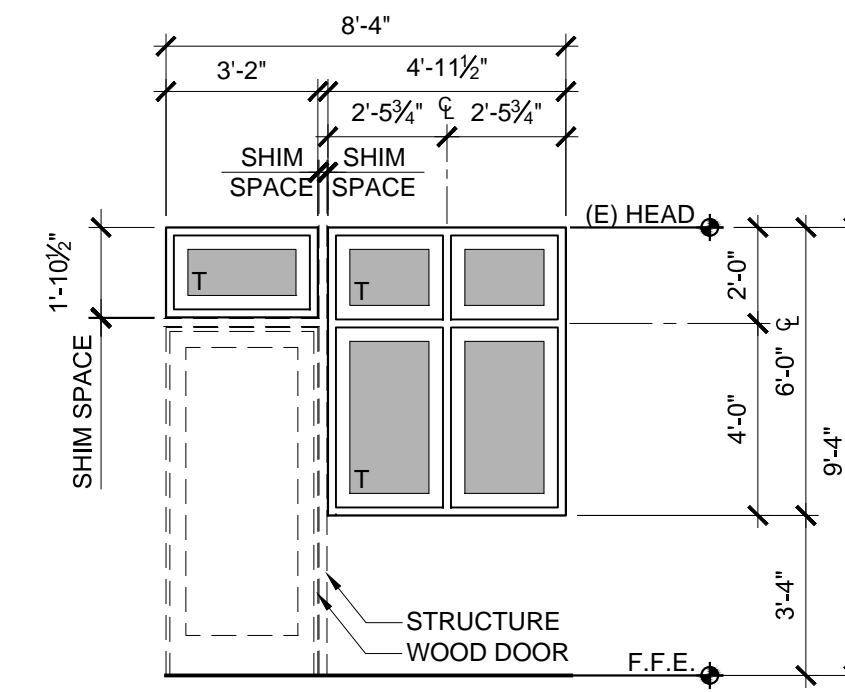
H. CASEMENT / FIXED QUANTITY: 3



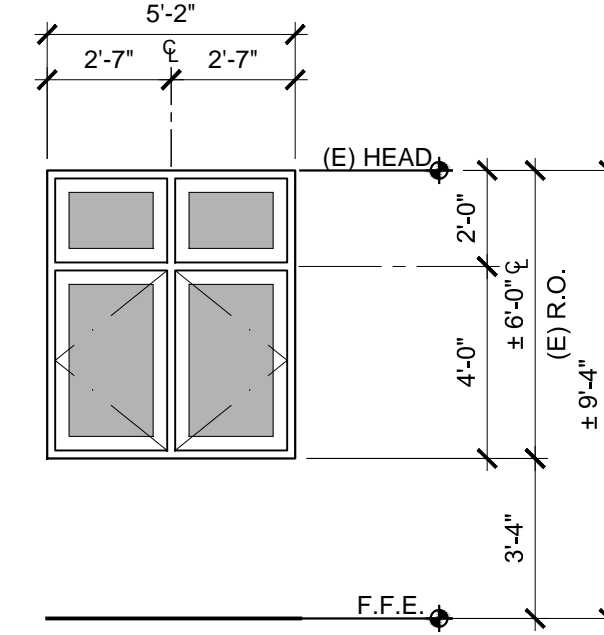
S. SIDELITES / FIXED QUANTITY: 4



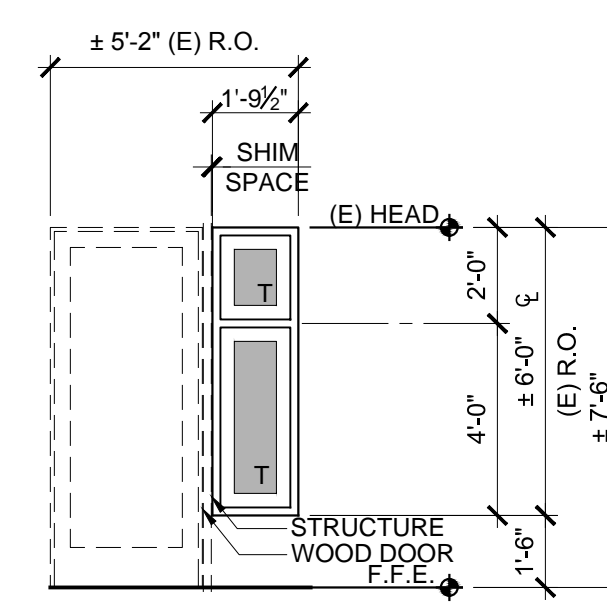
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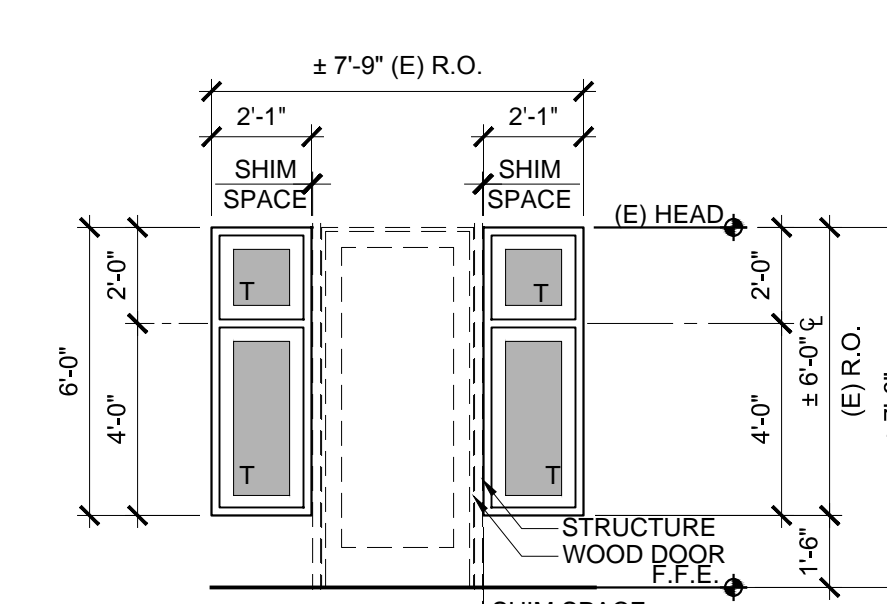
E. FIXED / SIDE LITE / TRANSOM QUANTITY: 4



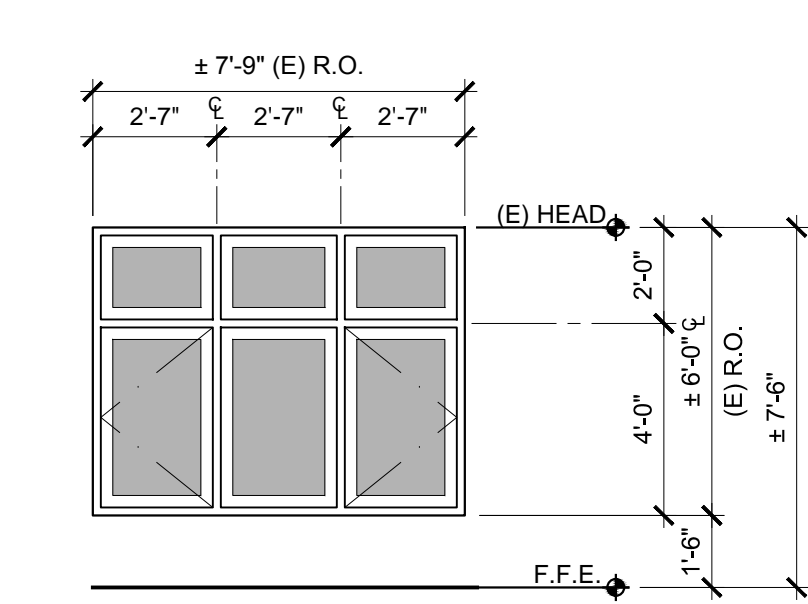
D. CASEMENT / FIXED QUANTITY: 3



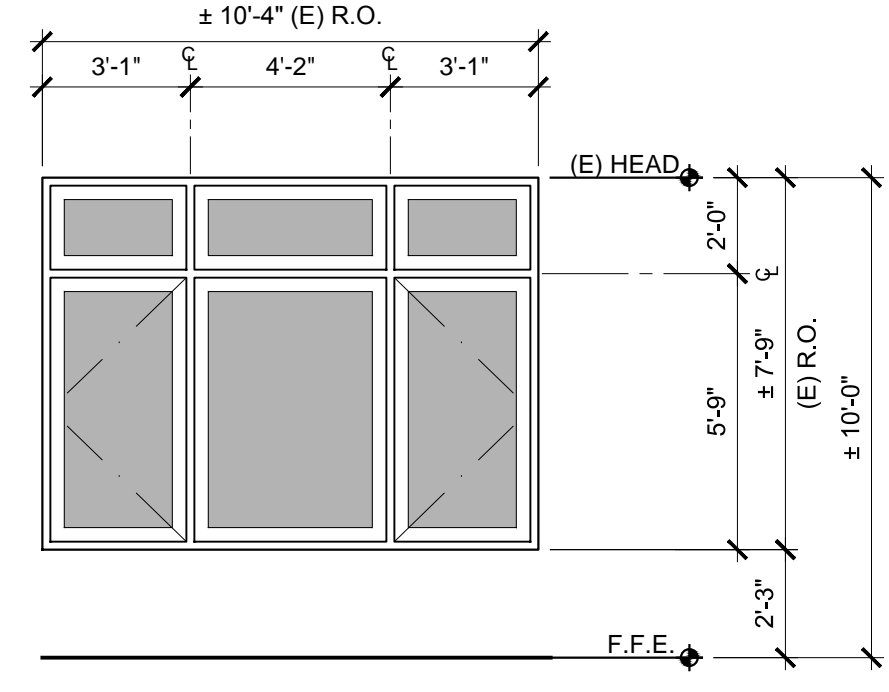
C. FIXED / SIDE LITE QUANTITY: 1



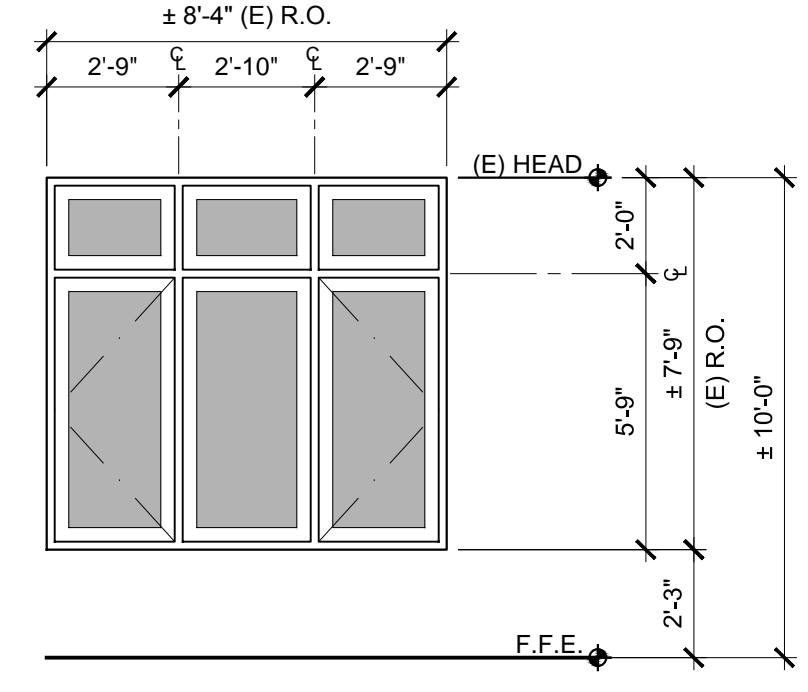
B. FIXED / SIDE LITES QUANTITY: 1



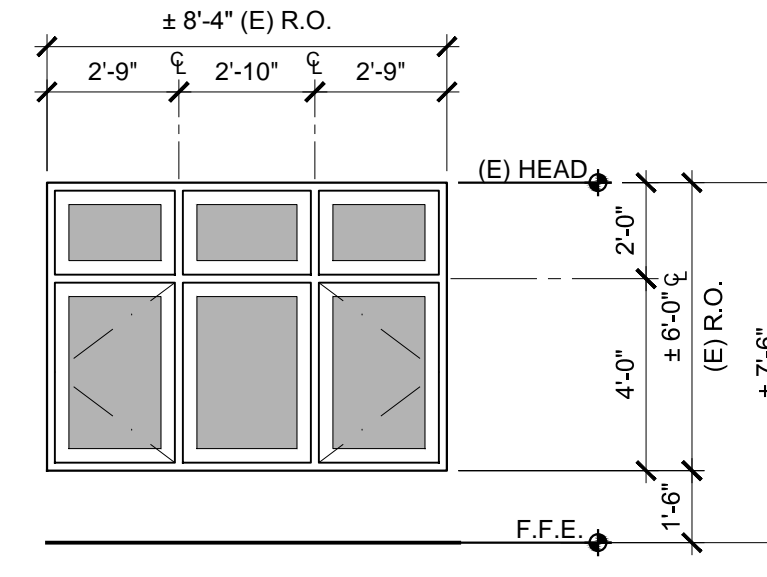
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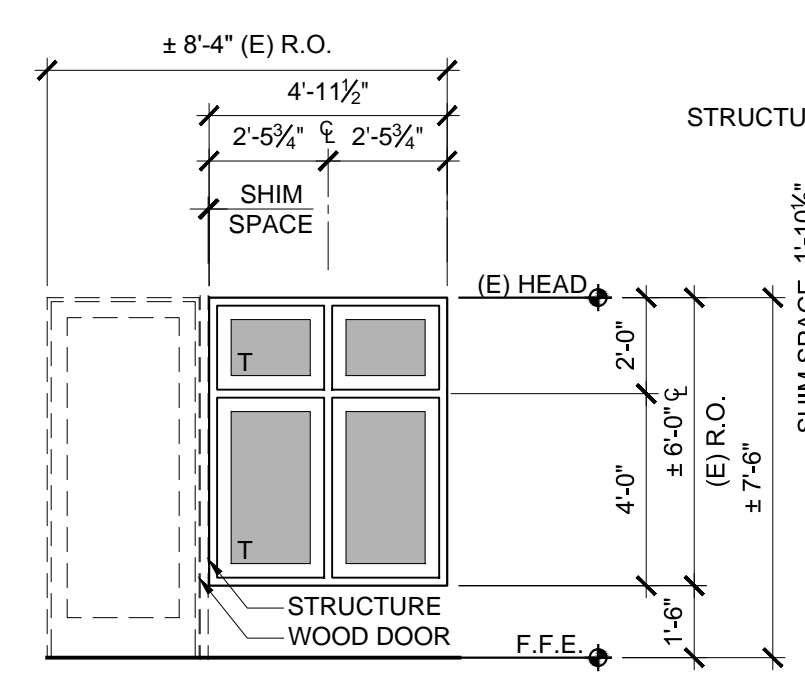
O. CASEMENT / FIXED QUANTITY: 10



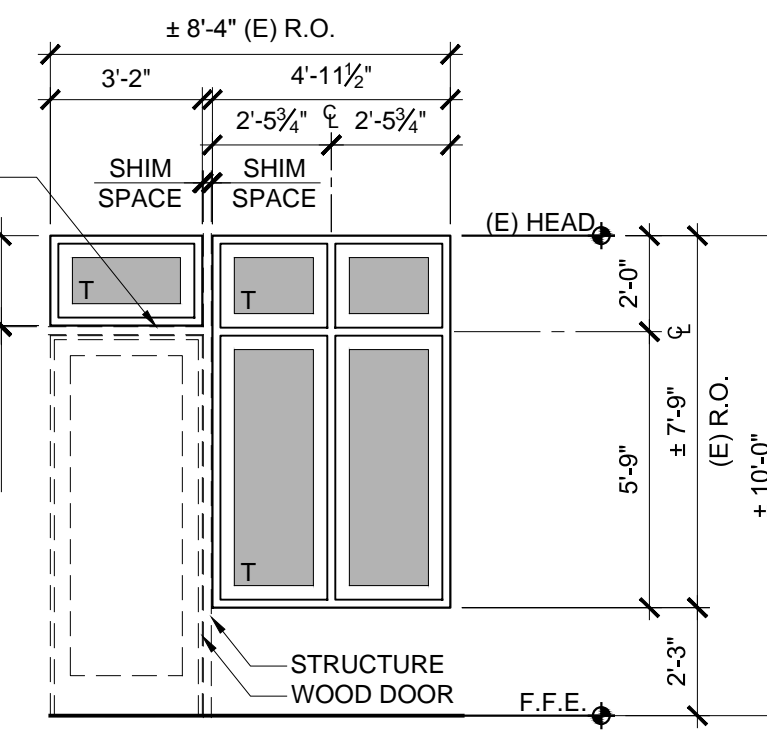
N. CASEMENT / FIXED QUANTITY: 4



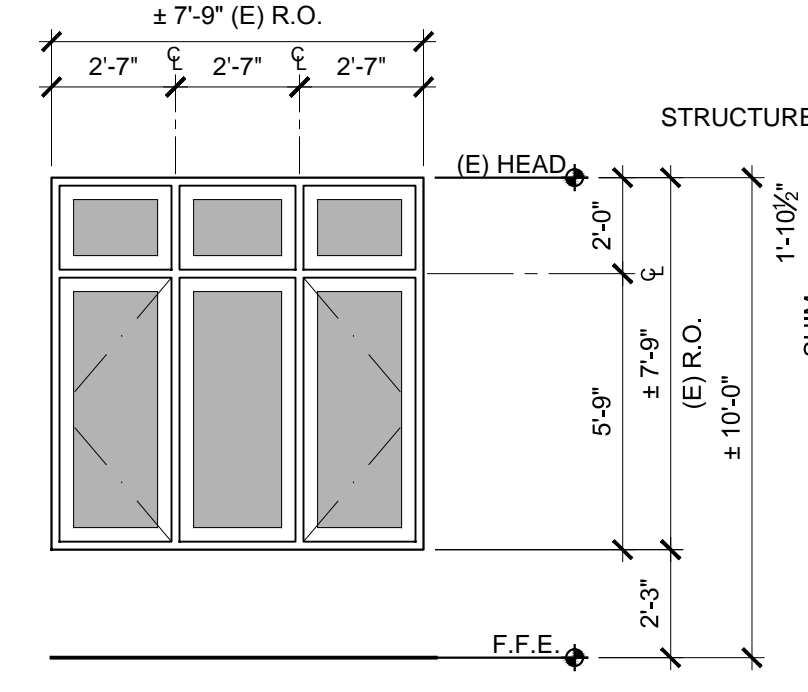
M. CASEMENT / FIXED QUANTITY: 13



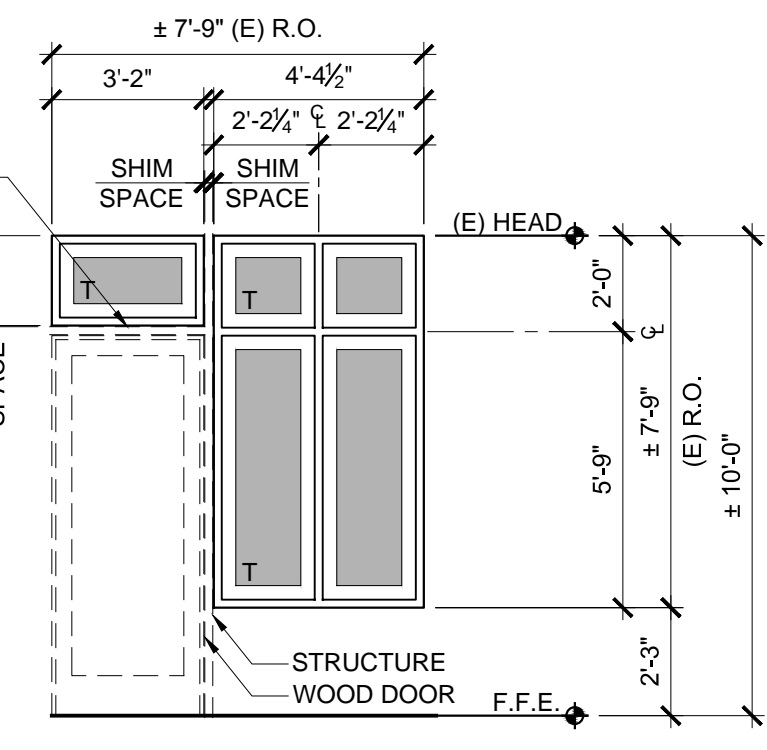
L. FIXED / SIDE LITE QUANTITY: 2



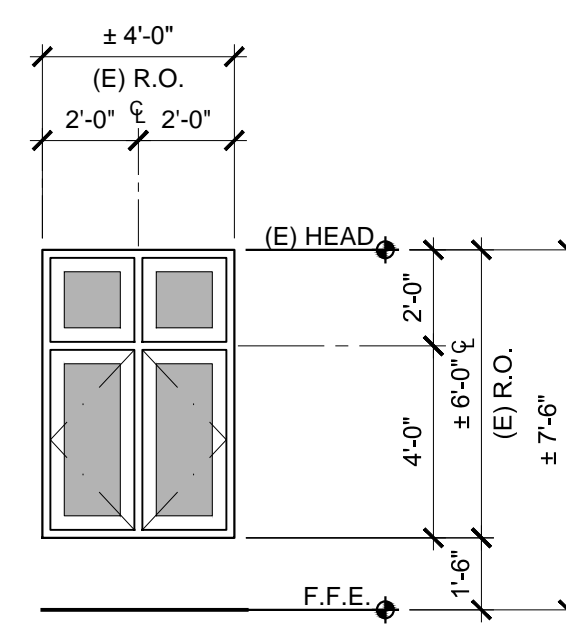
K. FIXED / SIDE LITE / TRANSOM QUANTITY: 4



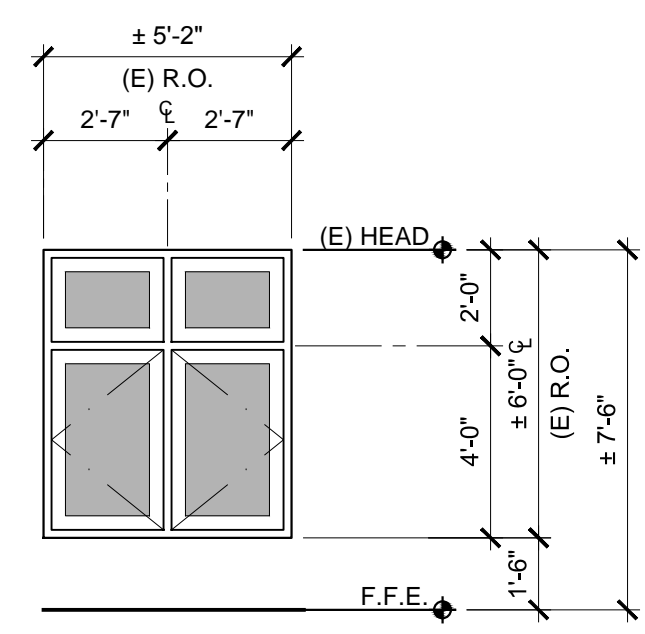
J. CASEMENT / FIXED QUANTITY: 15



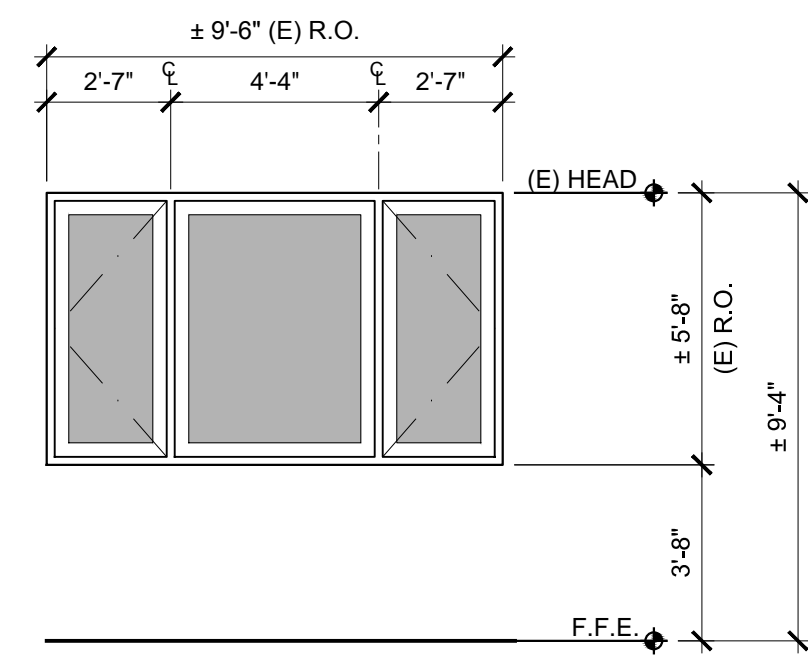
I. FIXED / SIDE LITE / TRANSOM QUANTITY: 11



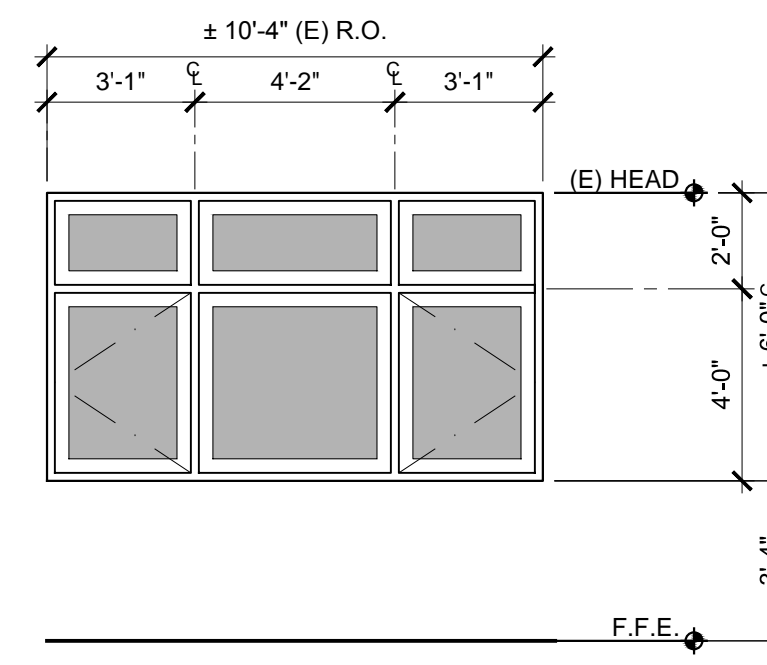
V. CASEMENT / FIXED QUANTITY: 8



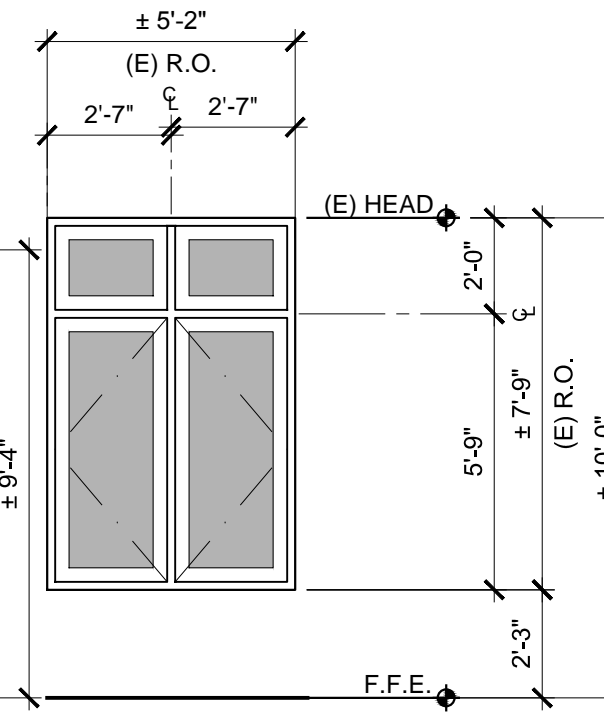
U. CASEMENT / FIXED QUANTITY: 5



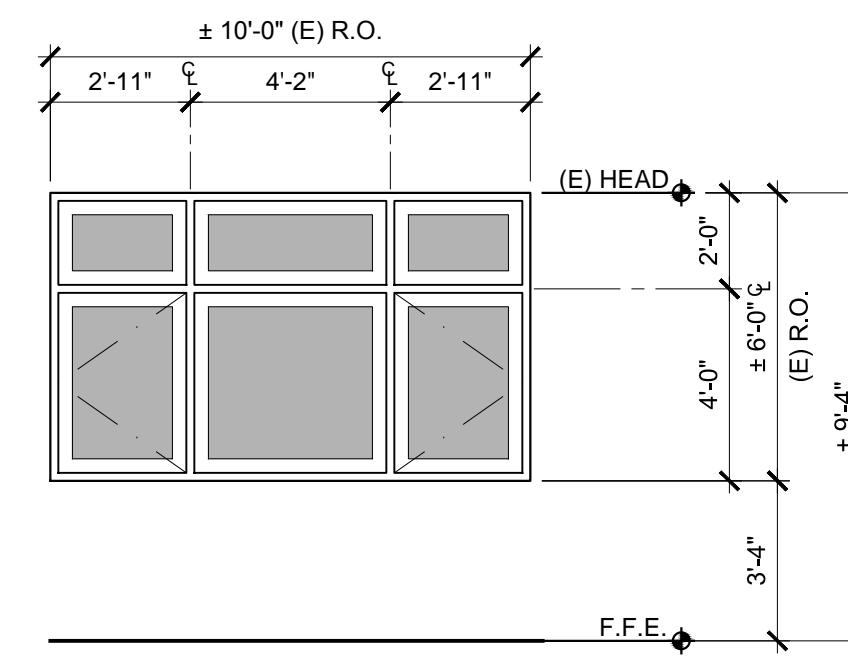
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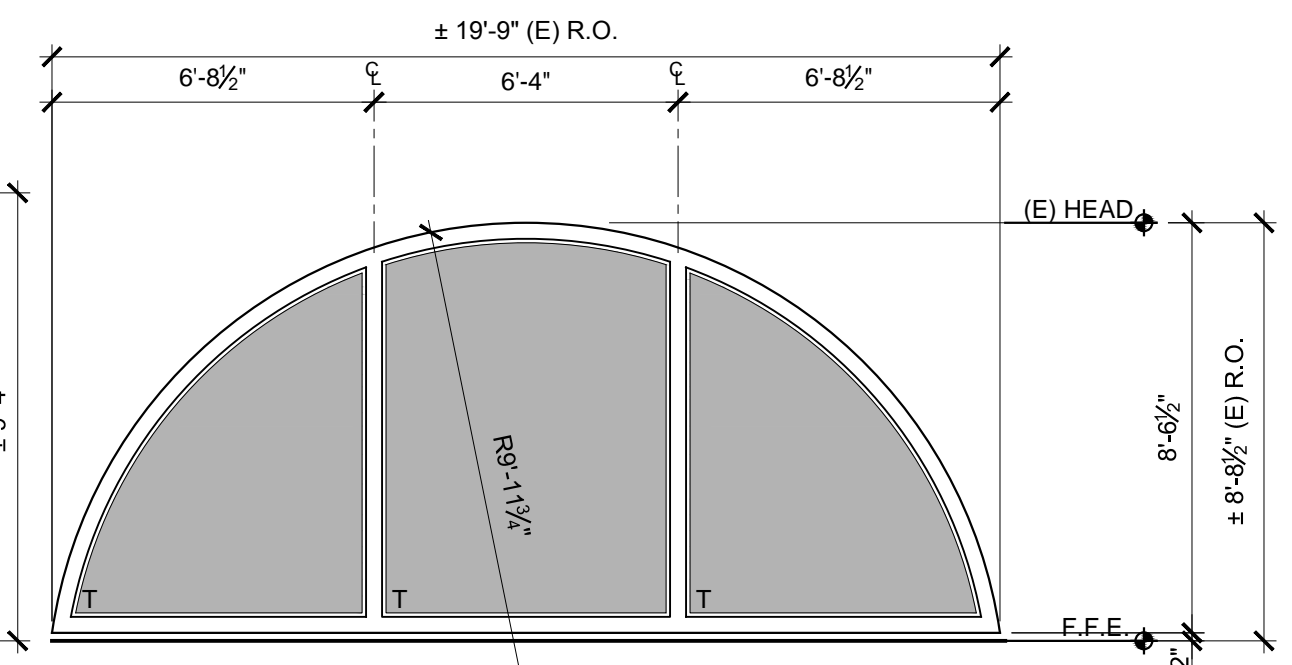
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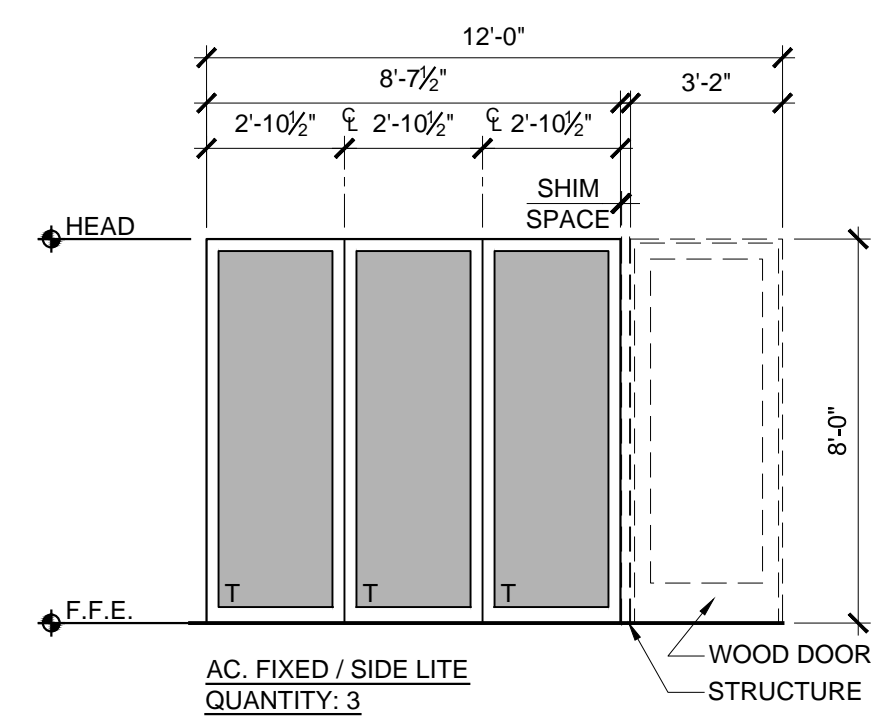
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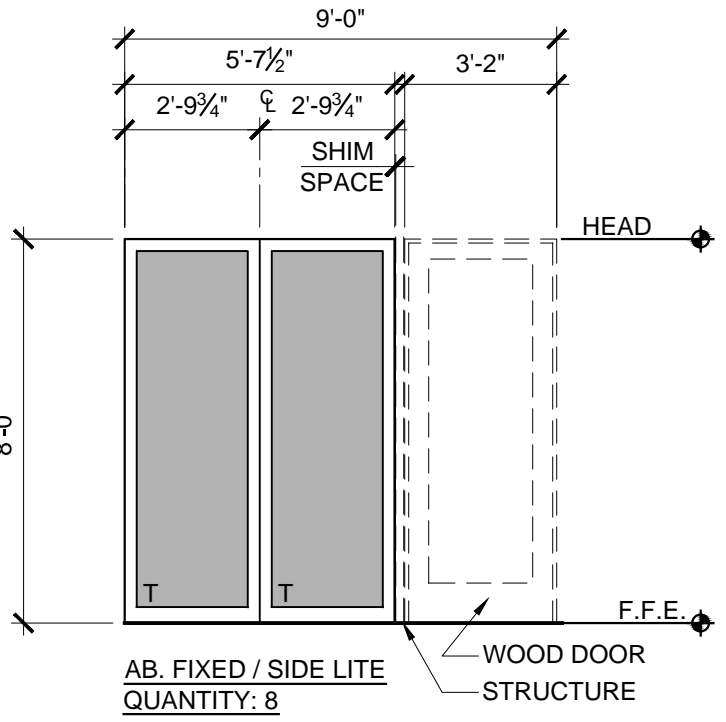
Q. CASEMENT / FIXED QUANTITY: 4



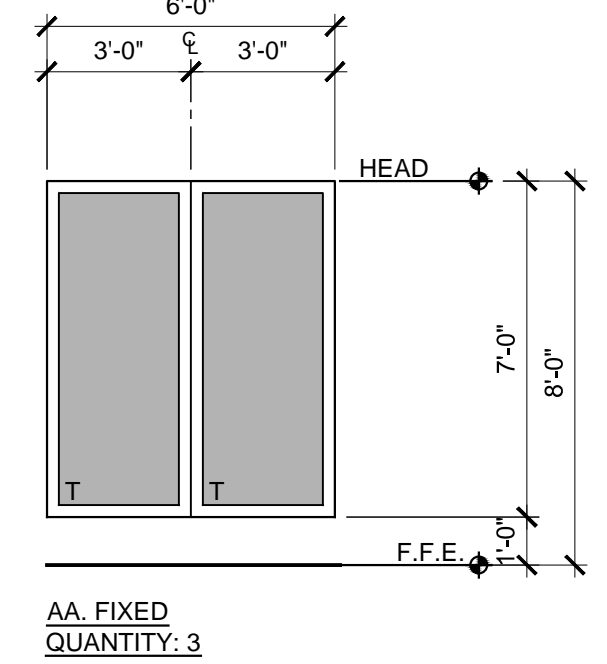
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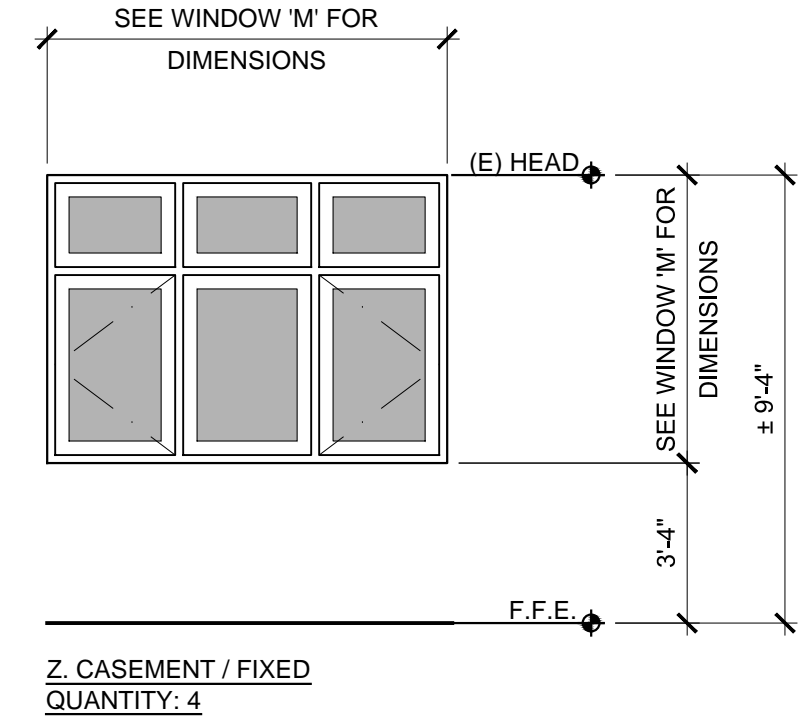
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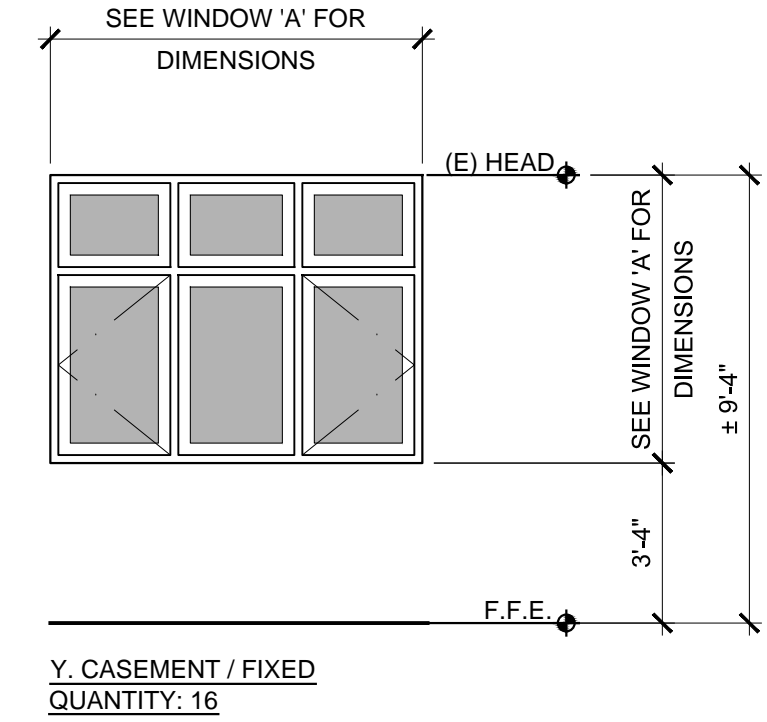
AB. FIXED / SIDE LITE QUANTITY: 8



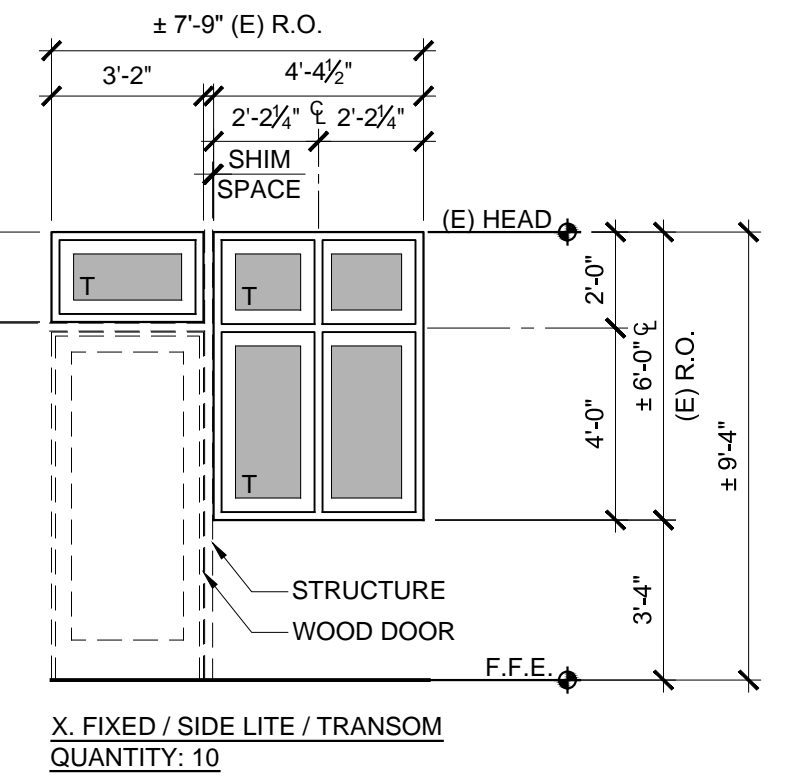
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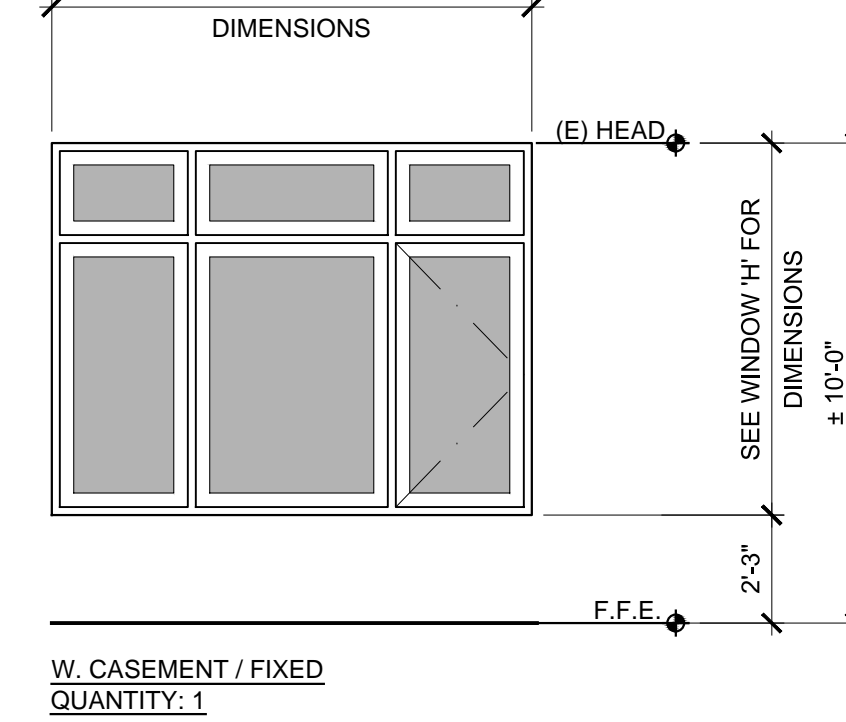
Z. CASEMENT / FIXED QUANTITY: 4



Y. CASEMENT / FIXED QUANTITY: 16



X. FIXED / SIDE LITE / TRANSOM QUANTITY: 10



W. CASEMENT / FIXED QUANTITY: 1

50
WR&D
WALD RUHNKE & DOST ARCHITECTS LLP
 2340 GARDEN ROAD, SUITE 100
 MONTEREY, CALIFORNIA 93940
 PHONE: 831.649.4642
 FAX: 831.649.3530
 WWW.WRDARCH.COM

GENERAL CONTRACTOR:

 DEVELOPER:

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: DD
 DRAWN BY: DD
 CHECKED BY:
 SET ISSUED:

10.05 PREPARING RESUBMITTAL
 11.02.15 CONSTRUCTION
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
 GRAPHIC WINDOW SCHEDULE

SHEET NO.:
A304

FILE NAME: 14146-A304

DEMOLITION NOTES

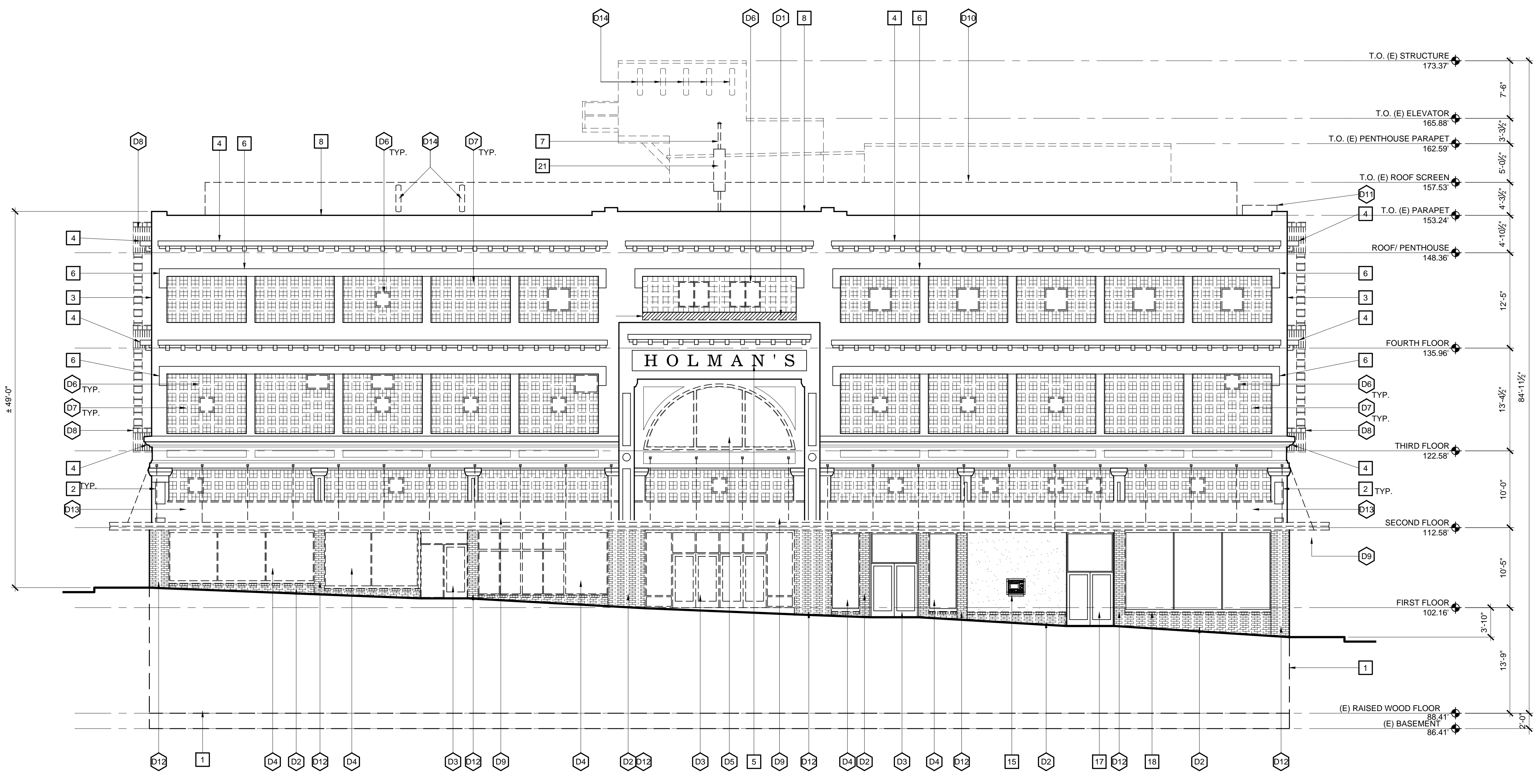
- THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL OR PORTION OF WALL TO ACCOMMODATE NEW WORK.
 - D2 REMOVE AND LEGALLY DISPOSE OF EXISTING LOW BRICK WALL TO ACCOMMODATE NEW WORK, TYP. AS SHOWN.
 - D3 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT DOOR SYSTEM.
 - D4 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING BUTTERFLY STAINED GLASS WINDOW. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW, TYP. AS SHOWN.
 - D7 REMOVE AND LEGALLY DISPOSE OF GLASS BLOCK AT EXISTING WINDOW OPENING, TYP. AS SHOWN.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS, TYP. AS SHOWN.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING METAL AWNING SYSTEM.
 - D10 REMOVE AND LEGALLY DISPOSE OF EXISTING 9'-2" HIGH ROOFTOP EQUIPMENT SCREEN.
 - D11 REMOVE & LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
 - D12 REMOVE AND LEGALLY DISPOSE OF EXISTING BRICK AT EXISTING COLUMN, REFURNISHED TO MATCH ORIGINAL.
 - D13 REMOVE EXISTING EXTERIOR WALL FINISH AND REFURNISH TO MATCH ORIGINAL TRIM.
 - D14 REMOVE AND RELOCATE EXISTING CELLULAR ANTENNA PER NEW ELEVATIONS.

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL EXTERIOR WALL BEYOND.
 - 2 EXISTING DECORATIVE COLUMN TO BE REFURNISHED TO MATCH ORIGINAL. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - 3 EXISTING WALL FINISH TO REMAIN, PROTECT FROM DAMAGE. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - 4 EXISTING DECORATIVE DENTIL MOULDING TO REMAIN INTACT, PROTECT FROM DAMAGE.
 - 5 EXISTING 'HOLMAN'S' LETTERING TO REMAIN INTACT, PROTECT FROM DAMAGE.
 - 6 EXISTING CEMENT PLASTER WINDOW TRIM TO REMAIN INTACT, PROTECT FROM DAMAGE.
 - 7 EXISTING FLAG POLE TO REMAIN INTACT, PROTECT FROM DAMAGE.
 - 8 EXISTING PARAPET WALL.
 - 9 NEW BALCONY BEYOND.
 - 10 NEW ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM TO MATCH EXISTING.
 - 11 NEW ALUMINUM WINDOWS TO MATCH STOREFRONT COLOR.
 - 12 NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
 - 13 NEW METAL AWNING. SEE DETAIL A801.
 - 14 NEW RETRACTABLE CANVAS AWNING.
 - 15 EXISTING ATM MACHINE TO REMAIN, PROTECT FROM DAMAGE.
 - 16 NEW DECORATIVE DENTIL MOULDING TO MATCH EXISTING (SHOWN HATCHED). SEE DETAIL A801.
 - 17 EXISTING STOREFRONT DOOR SYSTEM TO REMAIN, PROTECT FROM DAMAGE.
 - 18 EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN, PROTECT FROM DAMAGE.
 - 19 NEW DECORATIVE TRIM AT PARAPET TO MATCH EXISTING TRIM. SEE DETAIL A801.
 - 20 EXISTING RELOCATED CELLULAR ANTENNA EQUIPMENT.
 - 21 EXISTING CELLULAR ANTENNA ON FLAGPOLE TO REMAIN.

FINISH LEGEND

- P1 PAINT - FIELD - BENJAMIN MOORE - FLAT - WHITE DOWN 970
- P2 PAINT - ACCENT - BENJAMIN MOORE - FLAT - LA PALOMA GRAY 1551
- P3 PAINT - ACCENT - BENJAMIN MOORE - FLAT - CHELSEA GRAY HC-168
- P4 PAINT - ACCENT - BENJAMIN MOORE - FLAT - IRON MOUNTAIN 2134-30
- AW1 AWNING - SUNBRELLA - TRIVANTAGE - SLATE 4684-0000
- WD1 WINDOW - VPI - BRONZE



1 EXISTING/DEMOLITION SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

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- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL OR PORTION OF WALL TO ACCOMMODATE NEW WORK.
- D2 REMOVE AND LEGALLY DISPOSE OF EXISTING LOW BRICK WALL TO ACCOMMODATE NEW WORK, TYP. AS SHOWN.
- D3 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT DOOR SYSTEM.
- D4 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
- D5 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR, TYP. AS SHOWN.
- D6 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW, TYP. AS SHOWN.
- D7 REMOVE AND LEGALLY DISPOSE OF GLASS BLOCK AT EXISTING WINDOW OPENING, TYP. AS SHOWN.
- D8 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS, TYP. AS SHOWN.
- D9 REMOVE AND LEGALLY DISPOSE OF EXISTING METAL AWNING SYSTEM.
- D10 REMOVE & LEGALLY DISPOSE OF EXISTING 9'-2" HIGH ROOFTOP EQUIPMENT SCREEN.
- D11 REMOVE & LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
- D12 NOT USED
- D13 REMOVE EXISTING EXTERIOR WALL FINISH AND REFURBISH TO MATCH ORIGINAL TRIM.
- D14 REMOVE & LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
- D15 REMOVE & LEGALLY DISPOSE OF EXISTING COMMUNICATIONS ROOM. SEE PENTHOUSE/ROOF PLAN FOR ADDITIONAL INFORMATION.
- D16 REMOVE & LEGALLY DISPOSE OF EXISTING ROOF.
- D17 REMOVE & REPOSITION EXISTING CELLULAR ANTENNA EQUIPMENT PER NEW ELEVATION.

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

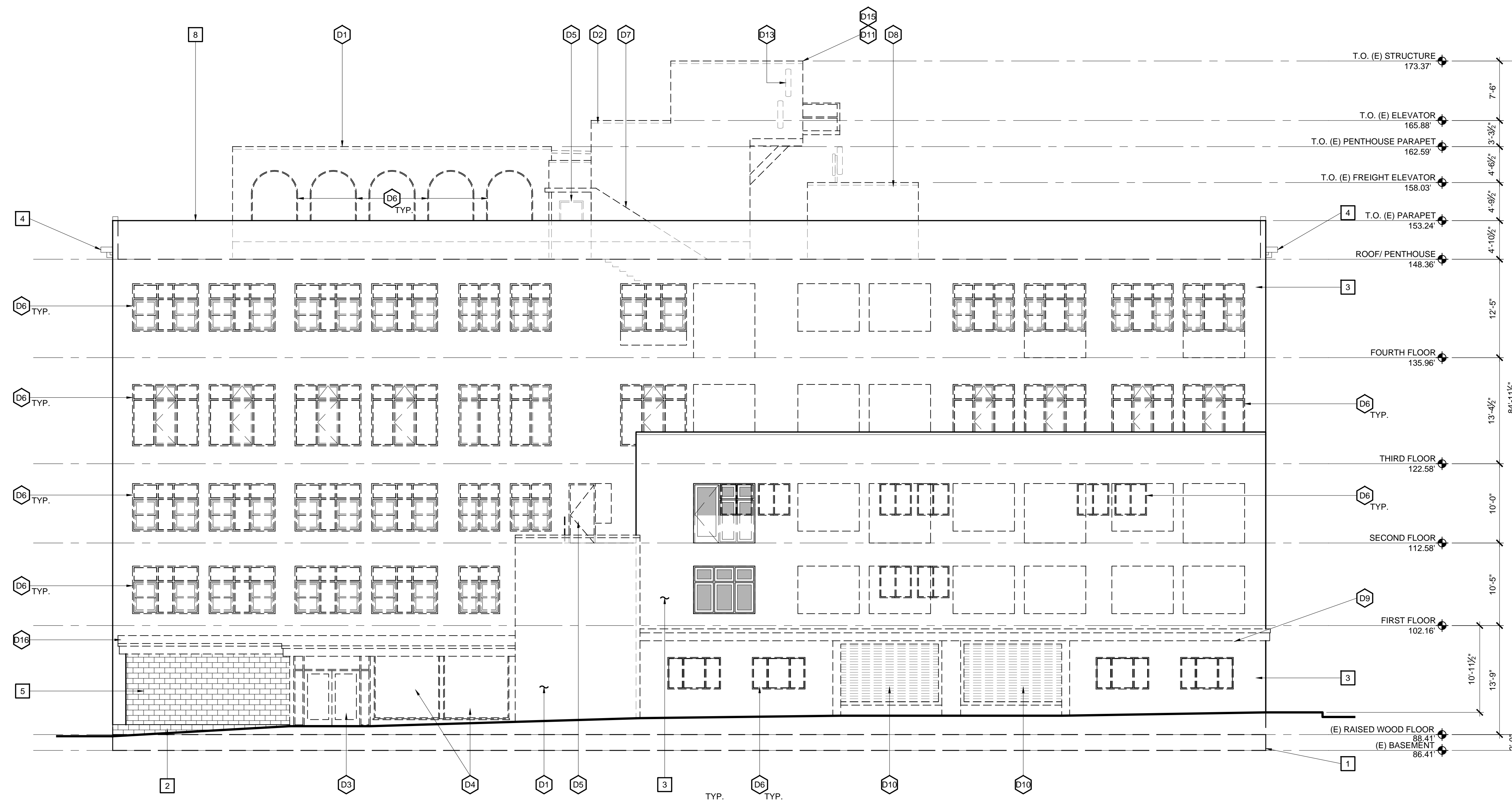
- 1 DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL EXTERIOR WALL BEYOND FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 2 EXISTING DECORATIVE COLUMN TO BE REFURNISHED TO MATCH ORIGINAL. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 3 EXISTING WALL FINISH TO REMAIN, PROTECT FROM DAMAGE. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 4 EXISTING DECORATIVE DENTIL MOULDING TO REMAIN INTACT. PROTECT FROM DAMAGE.
- 5 EXISTING CMU WALL TO REMAIN, PROTECT FROM DAMAGE.
- 6 EXISTING CEMENT PLASTER WINDOW TRIM TO REMAIN INTACT, PROTECT FROM DAMAGE.
- 7 EXISTING CELLULAR ANTENNA.
- 8 EXISTING ROOF PARAPET WALL.
- 9 NEW BALCONY. SEE DETAIL 11/AB01
- 10 NEW ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM TO MATCH EXISTING.
- 11 NEW ALUMINUM WINDOWS TO MATCH STOREFRONT COLOR.
- 12 NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
- 13 NEW METAL AWNING.
- 14 NEW RETRACTABLE CANVAS AWNING.
- 15 NEW DECORATIVE TRIM AT PARAPET WALL TO MATCH EXISTING TRIM. SEE DETAIL 11/AB01
- 16 NEW DECORATIVE DENTIL MOULDING TO MATCH EXISTING (SHOWN HATCHED). SEE DETAIL 13/AB01
- 17 RELOCATED CELLULAR ANTENNA EQUIPMENT.
- 18 EXISTING CMU PLANER TO REMAIN. PROTECT FROM DAMAGE.



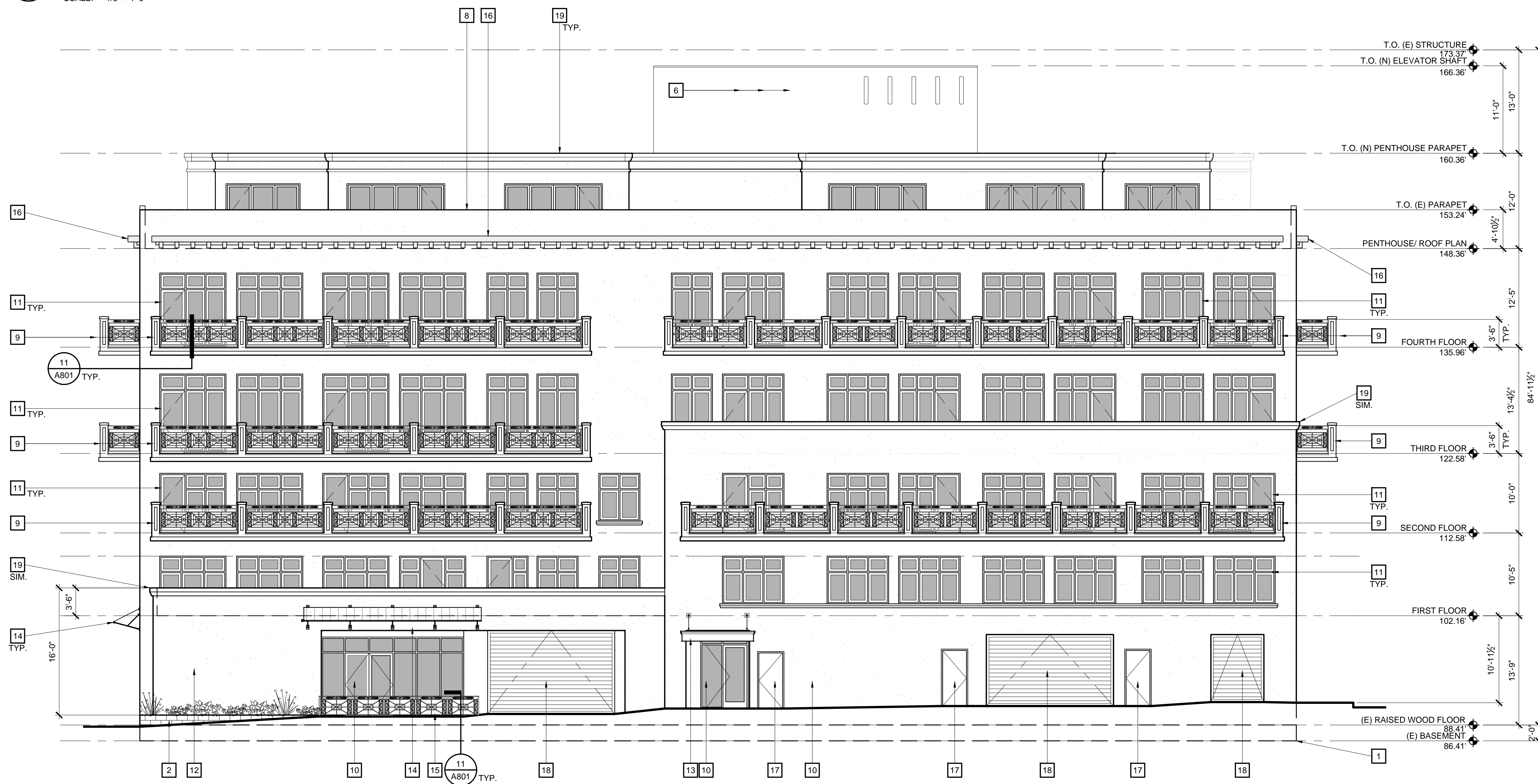
1 EXISTING/DEMOLITION EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 EXISTING/DEMOLITION NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

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- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL OR PORTION OF WALL TO ACCOMMODATE NEW WORK.
 - D2 REMOVE AND LEGALLY DISPOSE OF EXISTING ELEVATOR AND ELEVATOR EQUIPMENT ROOM. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.
 - D3 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT DOOR SYSTEM.
 - D4 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR, TYP. AS SHOWN.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW, TYP. AS SHOWN.
 - D7 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIR ENCLOSURE.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING TELEPHONE ROOM.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING OVERHANG.
 - D10 REMOVE AND LEGALLY DISPOSE OF EXISTING ROLL-UP DOOR.
 - D11 REMOVE & LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
 - D12 NOT USED
 - D13 REMOVE & RELOCATE EXISTING CELLULAR ANTENNA EQUIPMENT PER NEW ELEVATION.
 - D14 REMOVE & LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
 - D15 REMOVE & LEGALLY DISPOSE OF EXISTING COMMUNICATIONS ROOM. SEE PENTHOUSE/ROOF PLAN FOR ADDITIONAL INFORMATION.
 - D16 REMOVE & LEGALLY DISPOSE OF EXISTING ROOF.

KEY NOTES

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- 1 DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL EXTERIOR WALL BEYOND.
 - 2 EXISTING CMU PLANTER TO REMAIN. PROTECT FROM DAMAGE.
 - 3 EXISTING WALL FINISH TO REMAIN. PROTECT FROM DAMAGE. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - 4 EXISTING DECORATIVE DENTIL MOULDING TO REMAIN INTACT. PROTECT FROM DAMAGE.
 - 5 EXISTING CMU WALL TO REMAIN. PROTECT FROM DAMAGE.
 - 6 RELOCATED EXISTING CELLULAR ANTENNA.
 - 7 NOT USED.
 - 8 EXISTING ROOF PARAPET WALL.
 - 9 NEW BALCONY. SEE DETAIL 11 A801
 - 10 NEW ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM TO MATCH EXISTING.
 - 11 NEW ALUMINUM WINDOWS TO MATCH STOREFRONT COLOR.
 - 12 NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
 - 13 NEW METAL AWNING. SEE DETAIL 12 A801
 - 14 NEW RETRACTABLE CANVAS AWNING.
 - 15 NEW METAL RAILING.
 - 16 NEW DECORATIVE DENTIL MOULDING TO MATCH EXISTING (SHOWN HATCHED). SEE DETAIL 13 A801
 - 17 NEW DOOR.
 - 18 NEW ROLL-UP DOOR. SEE DETAIL 14 A801
 - 19 NEW DECORATIVE TRIM AT PARAPET TO MATCH EXISTING TRIM. SEE DETAIL 15 A801

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GENERAL CONTRACTOR:
GOLD COAST DESIGN, INC.
DEVELOPER:
MONTEREY Capital

006-173-001
A.P.N.:

THE HOLMAN BUILDING
542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO.
14146-P
PRINT DATE: 11.2.2015
PLOT DATE: 11.2.2015
DRAWN BY: AGL
CHECKED BY: KT/HR
SET ISSUED:

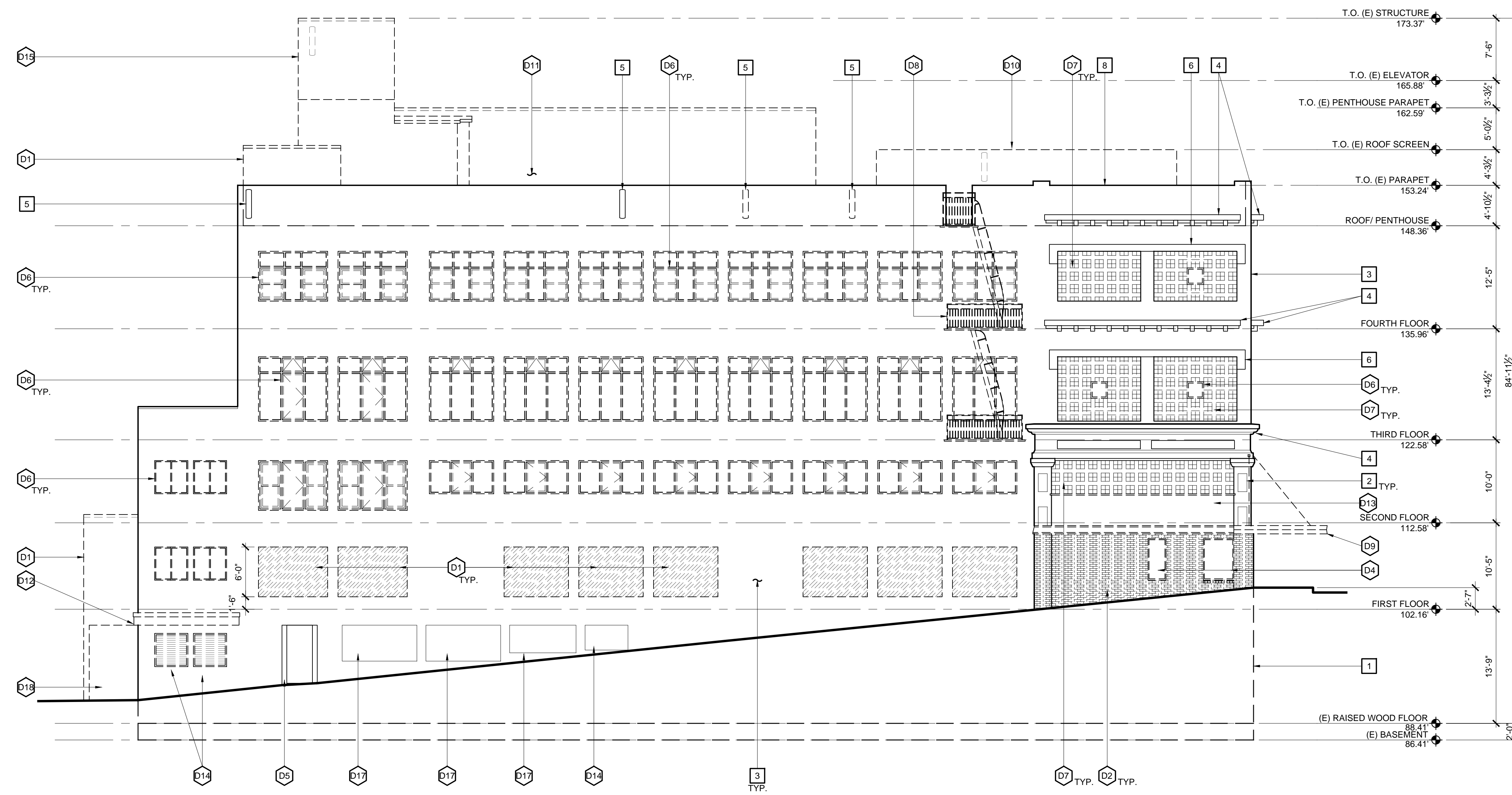
10.05.15 PLANNING RESUBMITTAL
11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
NORTH ELEVATIONS

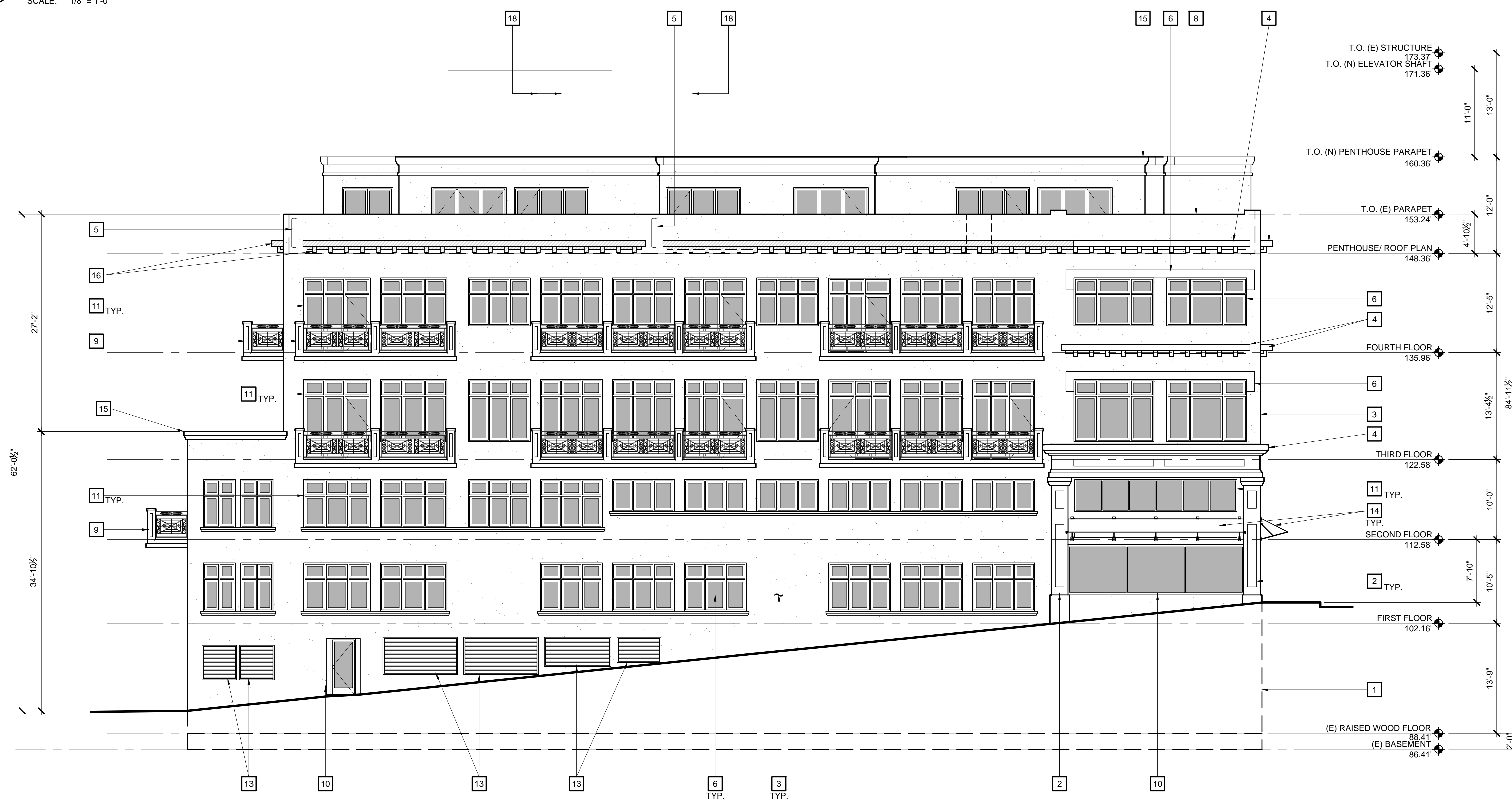
SHEET NO.:

A403

FILE NAME: 14146-A403



1 EXISTING/DEMOLITION WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

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 - D2 REMOVE AND LEGALLY DISPOSE OF EXISTING BRICK WALL TO ACCOMMODATE NEW WORK. TYP. AS SHOWN.
 - D3 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT DOOR SYSTEM.
 - D4 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR, TYP. AS SHOWN.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW, TYP. AS SHOWN.
 - D7 REMOVE AND LEGALLY DISPOSE OF GLASS BLOCK AT EXISTING WINDOW OPENING, TYP. AS SHOWN.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS, TYP. AS SHOWN.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING METAL AWNING SYSTEM.
 - D10 REMOVE & LEGALLY DISPOSE OF EXISTING 9'-2" HIGH ROOFTOP EQUIPMENT SCREEN.
 - D11 REMOVE & LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
 - D12 REMOVE & LEGALLY DISPOSE OF EXISTING OVERHANG.
 - D13 REMOVE EXISTING EXTERIOR WALL FINISH AND REFURBISH TO MATCH ORIGINAL TRIM.
 - D14 REMOVE & LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
 - D15 REMOVE & LEGALLY DISPOSE OF EXISTING COMMUNICATIONS ROOM. SEE PENTHOUSE/ROOF PLAN FOR ADDITIONAL INFORMATION.
 - D16 REMOVE & LEGALLY DISPOSE OF EXISTING ROOF.
 - D17 REMOVE & LEGALLY DISPOSE OF EXISTING EXTERIOR WALL FINISH AT EXISTING WINDOW OPENING AND REFURBISH TO MATCH ORIGINAL.
 - D18 REMOVE & LEGALLY DISPOSE OF EXISTING EXTERIOR STAIRS.

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL EXTERIOR WALL BEYOND FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - 2 EXISTING DECORATIVE COLUMN TO BE REFURNISHED TO MATCH ORIGINAL. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - 3 EXISTING WALL FINISH TO REMAIN, PROTECT FROM DAMAGE. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - 4 EXISTING DECORATIVE DENTIL MOULDING TO REMAIN INTACT, PROTECT FROM DAMAGE.
 - 5 EXISTING CELLULAR ANTENNA.
 - 6 EXISTING CEMENT PLASTER WINDOW TRIM TO REMAIN INTACT, PROTECT FROM DAMAGE.
 - 7 NOT USED.
 - 8 EXISTING ROOF PARAPET WALL.
 - 9 NEW BALCONY. SEE DETAIL A801.
 - 10 NEW ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM TO MATCH EXISTING.
 - 11 NEW ALUMINUM WINDOWS TO MATCH STOREFRONT COLOR.
 - 12 NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
 - 13 NEW STAINLESS STEEL AIR INTAKE/EXHAUST GRILL A801.
 - 14 NEW RETRACTABLE CANVAS AWNING.
 - 15 NEW DECORATIVE TRIM AT PARAPET TO MATCH EXISTING TRIM. SEE DETAIL A801.
 - 16 NEW DECORATIVE DENTIL MOULDING TO MATCH EXISTING (SHOWN HATCHED). SEE DETAIL A801.
 - 17 NOT USED.
 - 18 RELOCATED EXISTING CELLULAR ANTENNA.



1 **EXISTING PHOTO**
SCALE:



2 **RENDERED PHOTO**
SCALE:

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GENERAL CONTRACTOR:



DEVELOPER:



THE HOLMAN BUILDING

006-173-001

APN:

542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO:
14146-P
PRINT DATE:
PLOT DATE: 11.2.2015
DRAWN BY: AGL
CHECKED BY: KT/HR
SET ISSUED:

10.05.15 PLANNING RESUBMITTAL
11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
**3D PHOTO
REALISTIC
RENDERING**

SHEET NO:

A410

FILE NAME: 14146-A410

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION HEREIN IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHICHEVER PARTY IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

GENERAL CONTRACTOR:

 DEVELOPER:


JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY: AGL
 CHECKED BY: KT/HR
 SET ISSUED:
 10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

APN.: 006-173-001

SHEET NAME:
 3D PERSPECTIVE RENDERINGS

SHEET NO.:
A411
 FILE NAME: 14146-A411



4



1



5



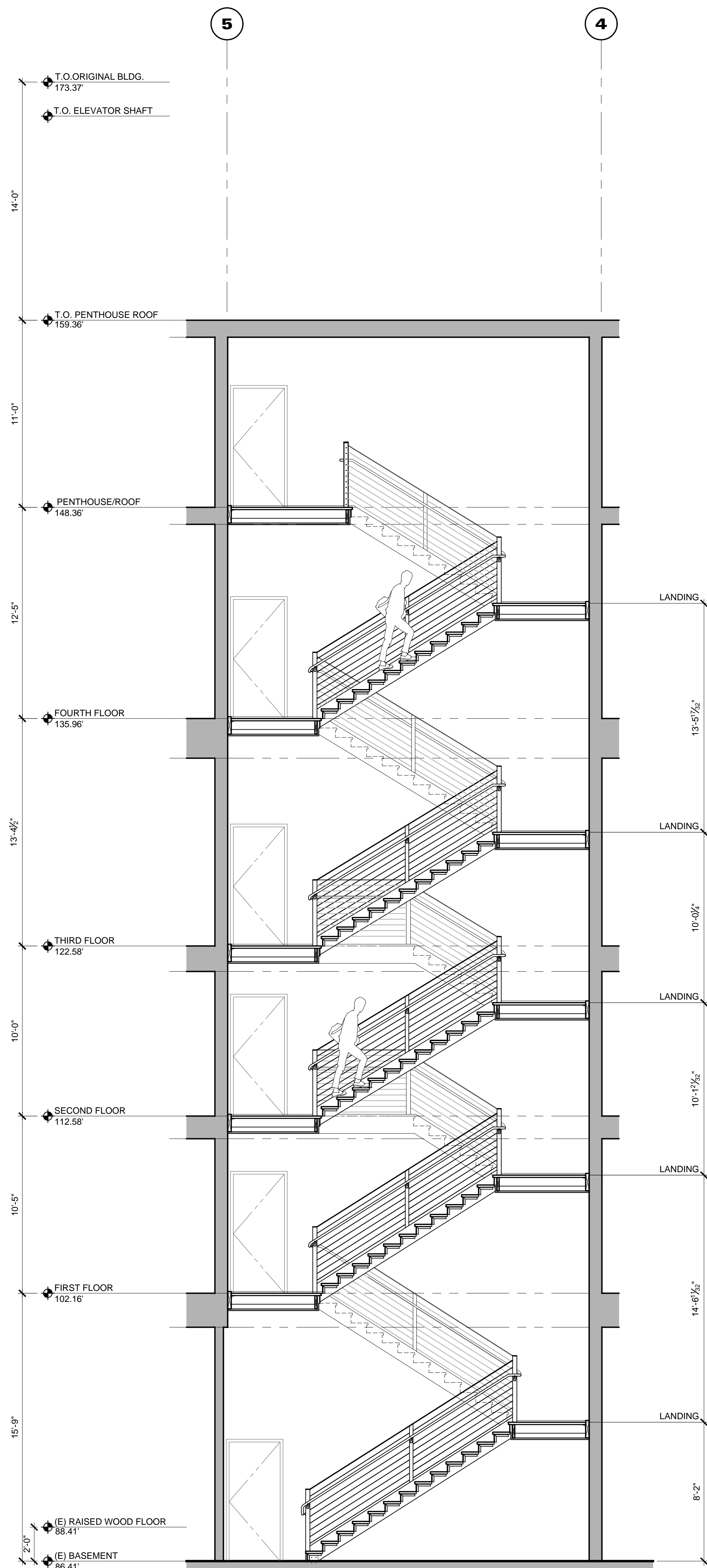
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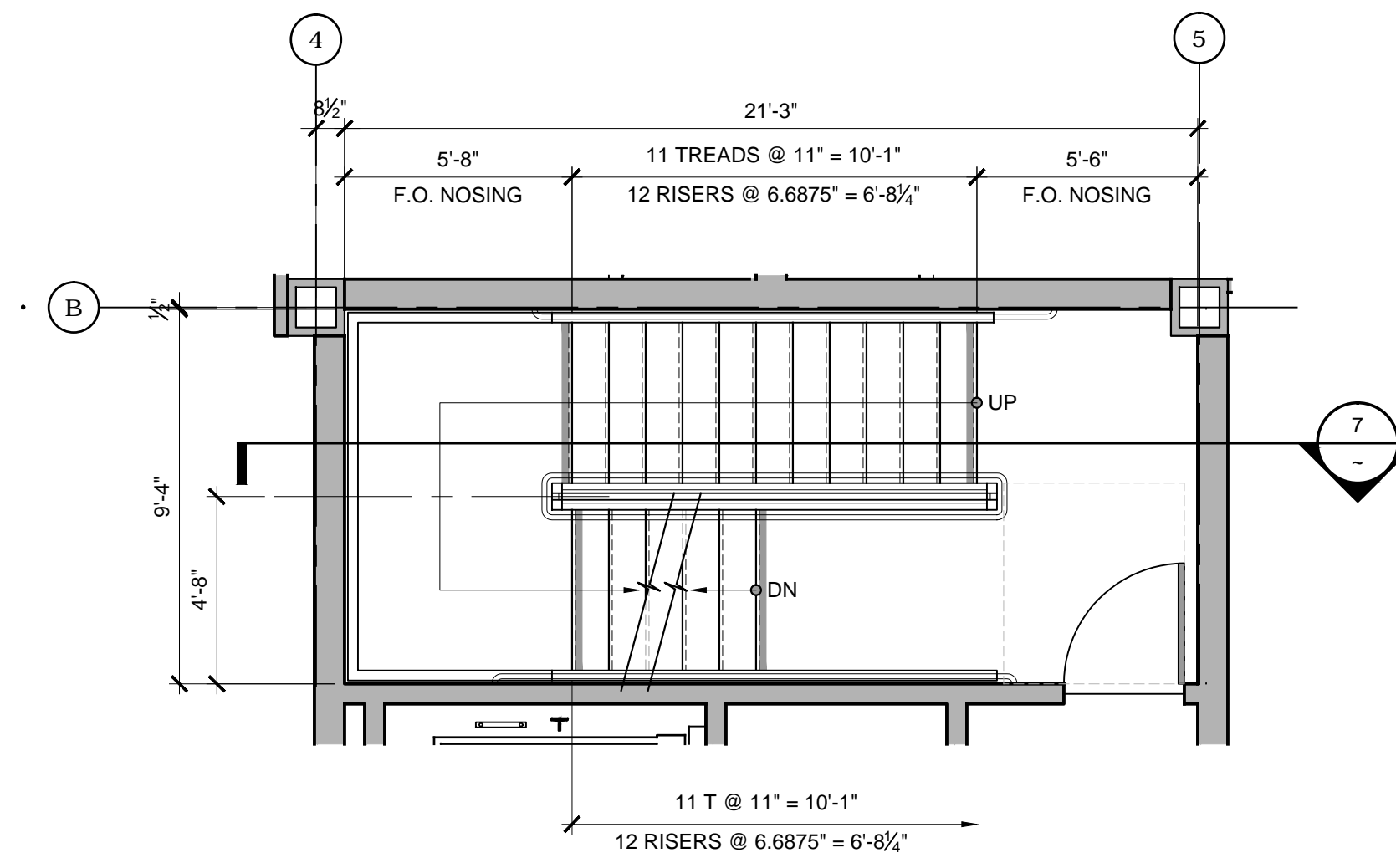
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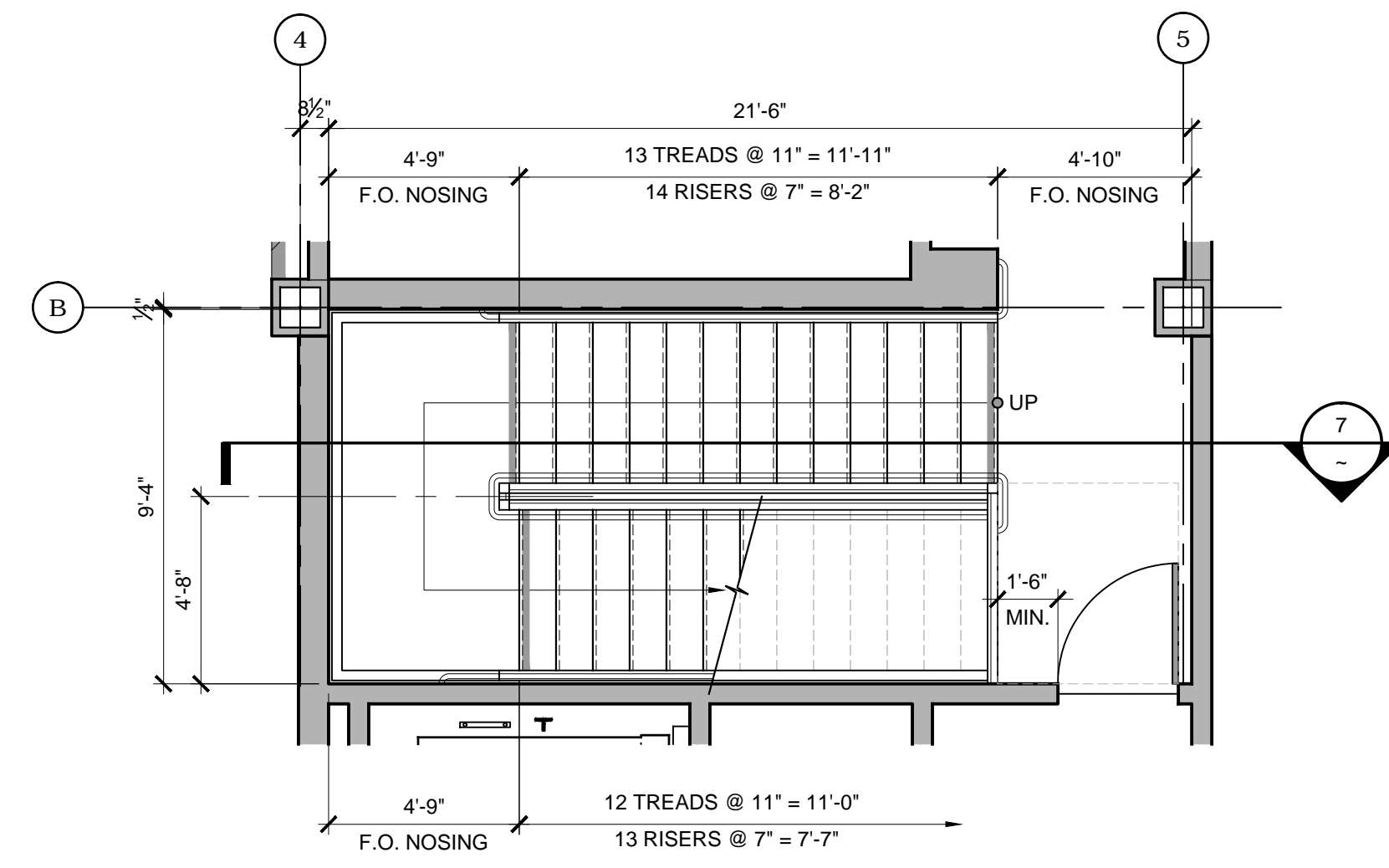
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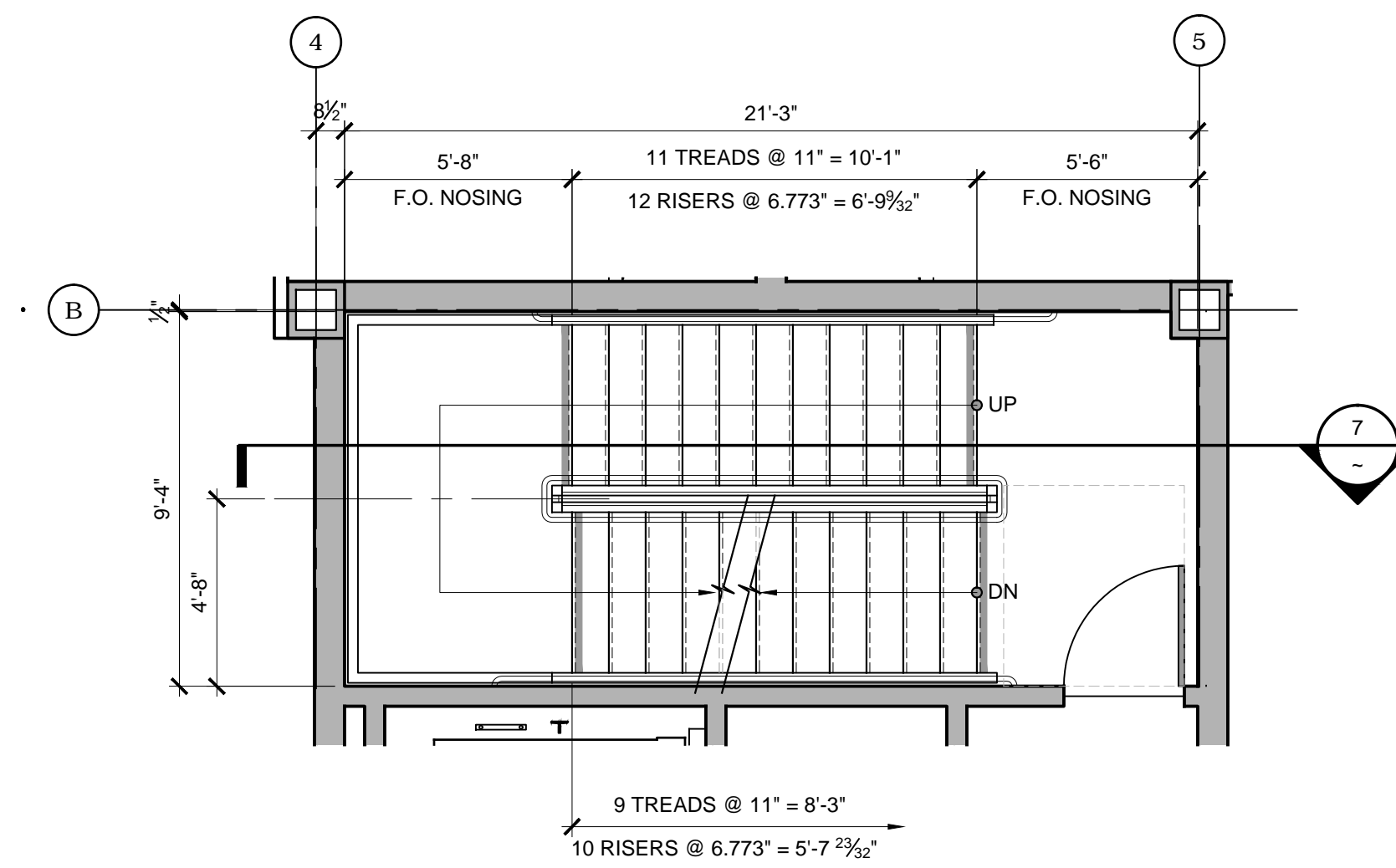
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SECTION
SCALE: 1/4" = 1'-0"



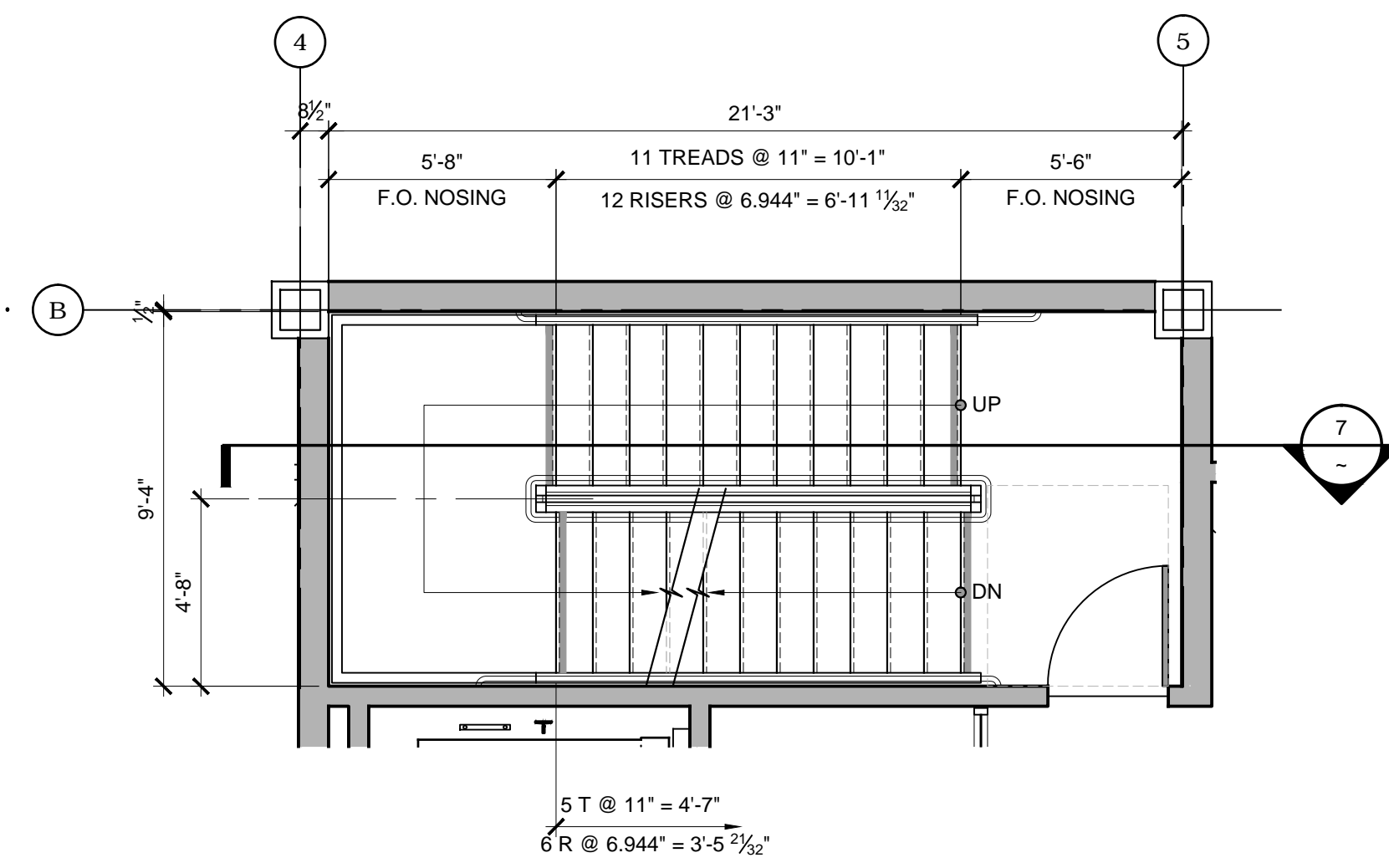
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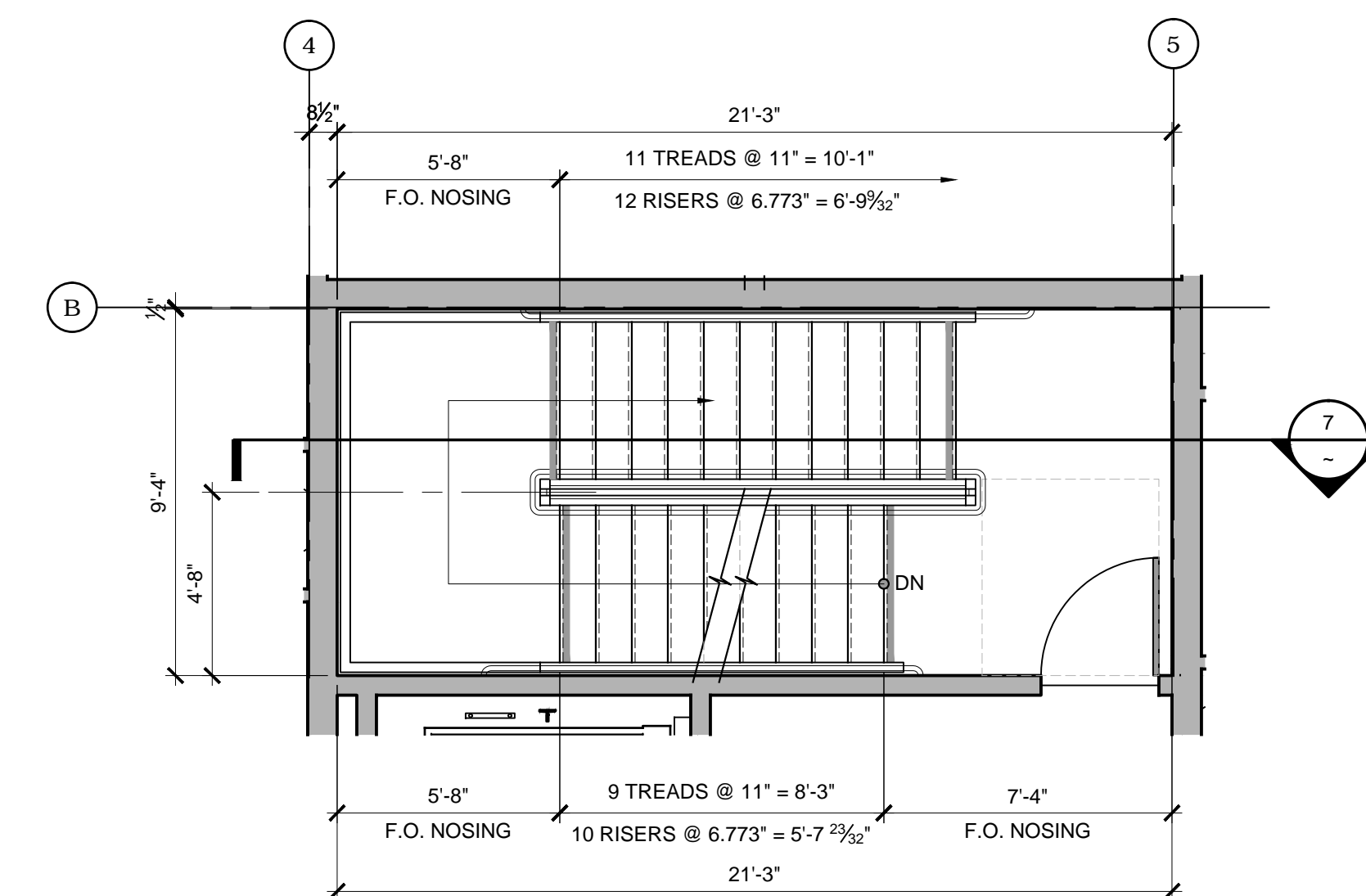
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BASEMENT FLOOR
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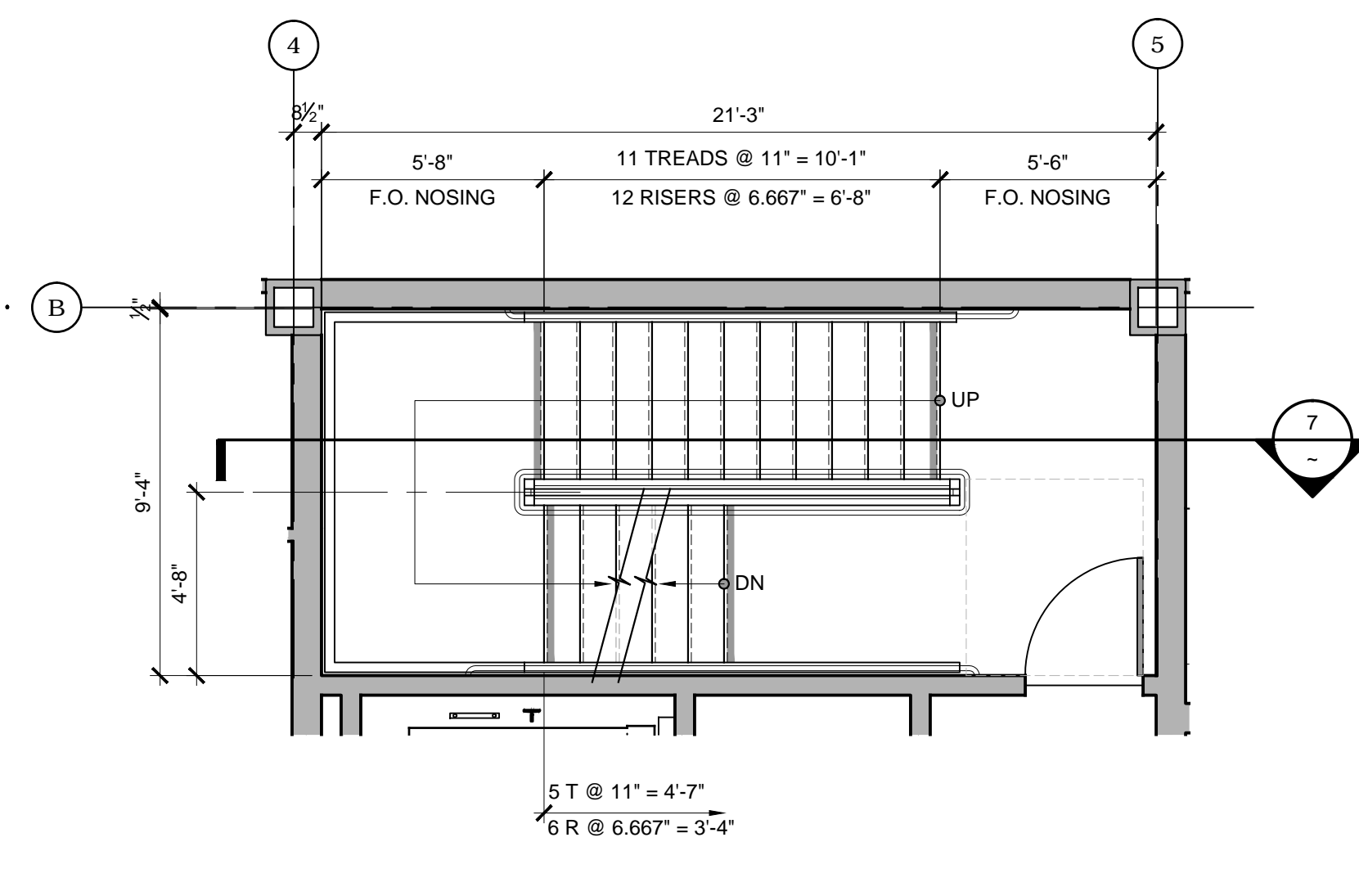
5 STAIR #1 (ST-1)
FOURTH FLOOR
SCALE: 1/4" = 1'-0"



2 STAIR #1 (ST-1)
FIRST FLOOR
SCALE: 1/4" = 1'-0"



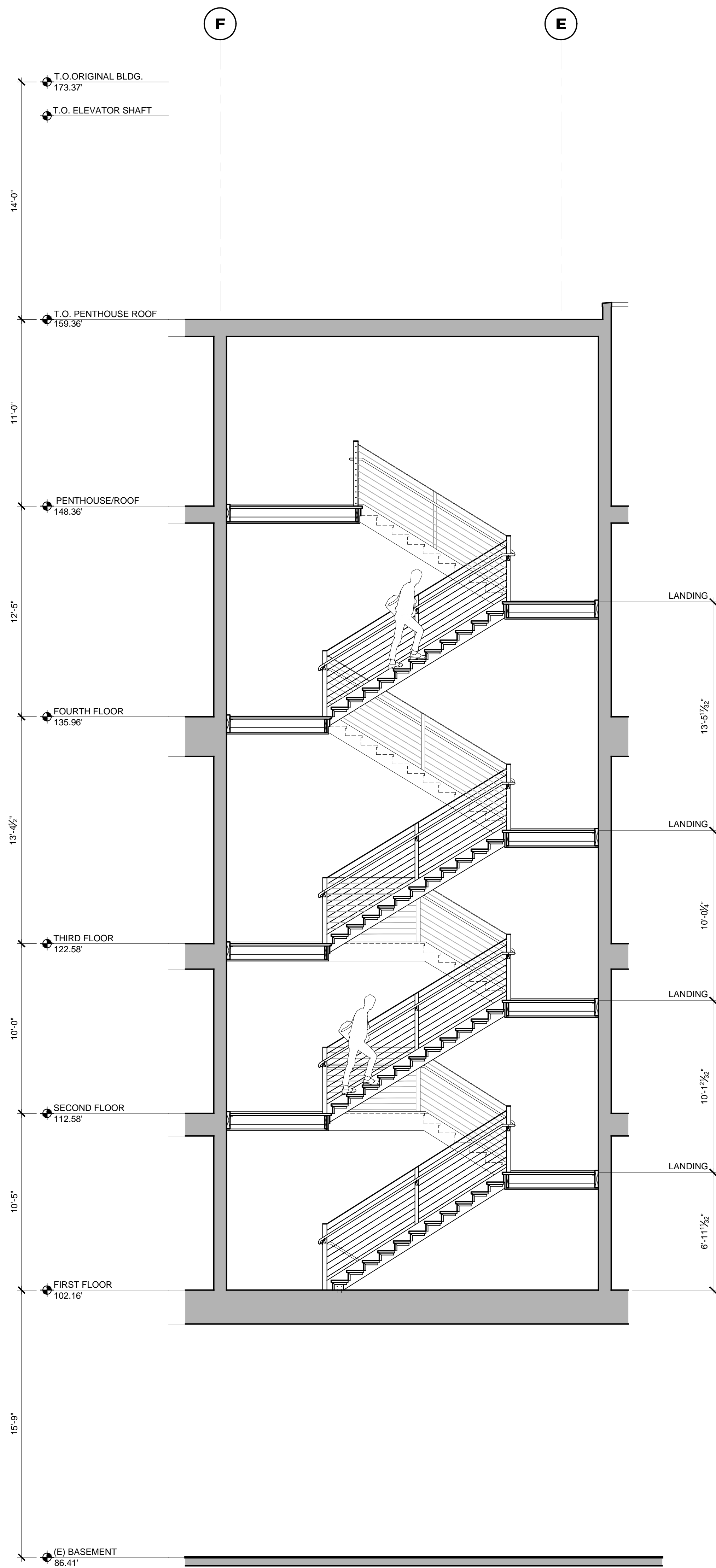
6 STAIR #1 (ST-1)
PENTHOUSE FLOOR
SCALE: 1/4" = 1'-0"



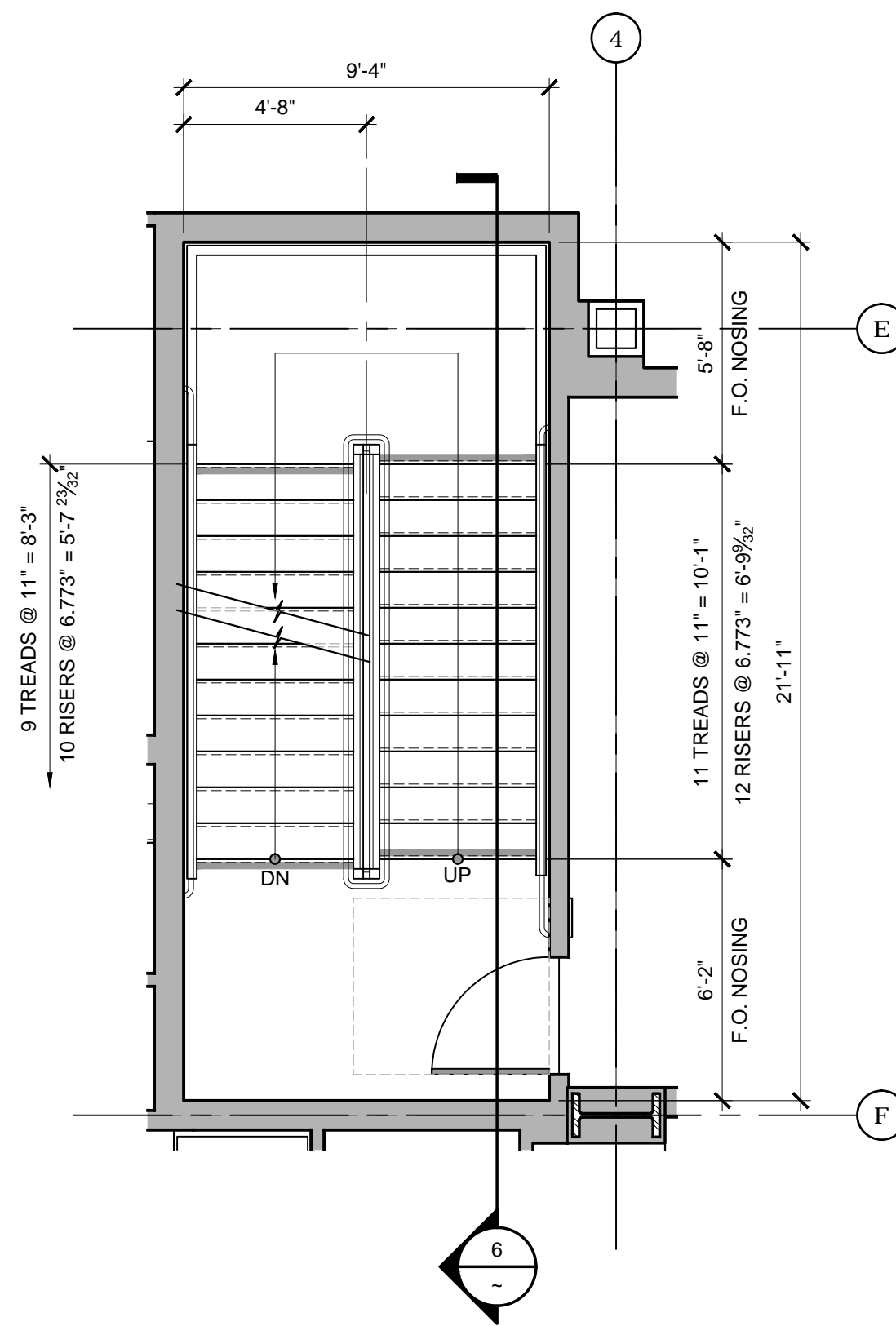
3 STAIR #1 (ST-1)
SECOND FLOOR
SCALE: 1/4" = 1'-0"

GENERAL STAIR NOTES

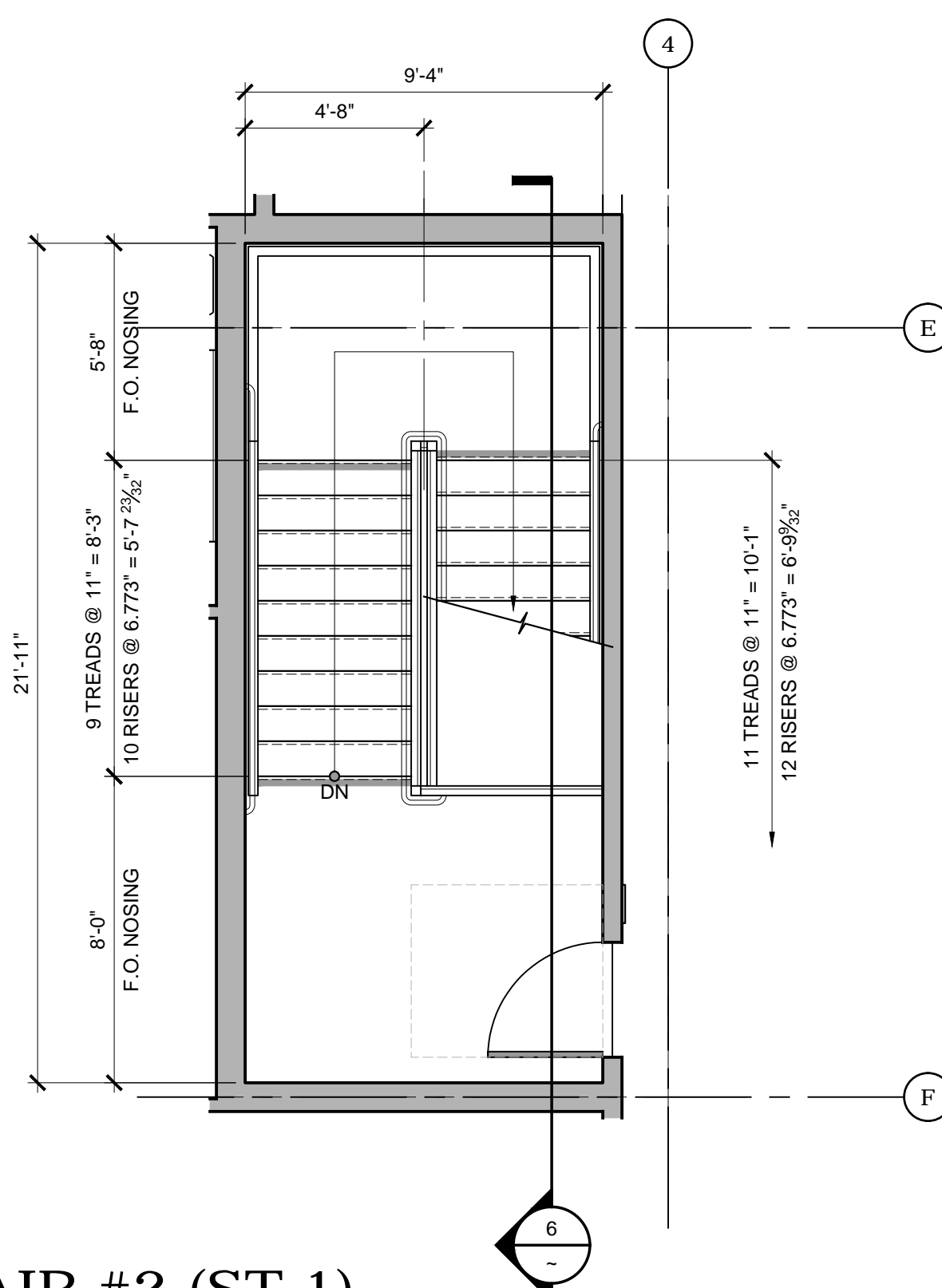
1. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND EXISTING CONDITIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING ANY WORK.
2. CONTRACTOR SHALL PROVIDE 2" WIDE WARNING STRIPS AT NOSING OF EACH TREAD AND LANDINGS. TOP AND BOTTOM STRIPS SHALL BE CONTRASTING COLOR.
3. CONTRACTOR SHALL PRIME AND PAINT ALL (N) STEEL STRINGERS, GUARDRAIL, AND HANDRAILS, WITH A HIGH PERFORMANCE EPOXY PAINT FINISH SYSTEM. COLOR TO BE ARCHITECT / OWNER SELECTED.
4. CONTRACTOR SHALL PROVIDE BACKING FOR ALL WALL MOUNTED HANDRAIL AS REQUIRED PER JOB CONDITION.
5. THE MINIMUM WIDTH OF ALL STAIRWAYS SHALL BE 44 INCHES PER CBC 1009.1.
6. THE MINIMUM STAIR RISER HEIGHT IS 4 INCHES, AND THE MAXIMUM ALLOWABLE STAIRWAY RISER HEIGHT IS 7 INCHES PER CBC 1009.4.
7. A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN EXIT ENCLOSURES CONNECTING MORE THAN THREE STORIES DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE EXIT ENCLOSURE AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE STAIRWAY FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5 FEET ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITIONS (2010 CFC, 1022.9).
8. TACTILE FLOOR IDENTIFICATION SIGNS THAT COMPLY WITH 111785.1, ITEM 1 SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL, PLACED ADJACENT TO THE DOOR ON THE LATCH SIDE. IN ALL ENCLOSED STAIRWAYS TO IDENTIFY THE FLOOR LEVEL, AT THE EXIT DISCHARGE LEVEL, THE SIGN SHALL INCLUDE A RAISED FIVE POINTED STAR LOCATED TO THE LEFT OF THE IDENTIFYING FLOOR LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE THE SAME AS THE HEIGHT OF THE RAISED CHARACTERS. REFER TO 1022.8.1 FOR ADDITIONAL SIGN DETAILS REQUIRED.



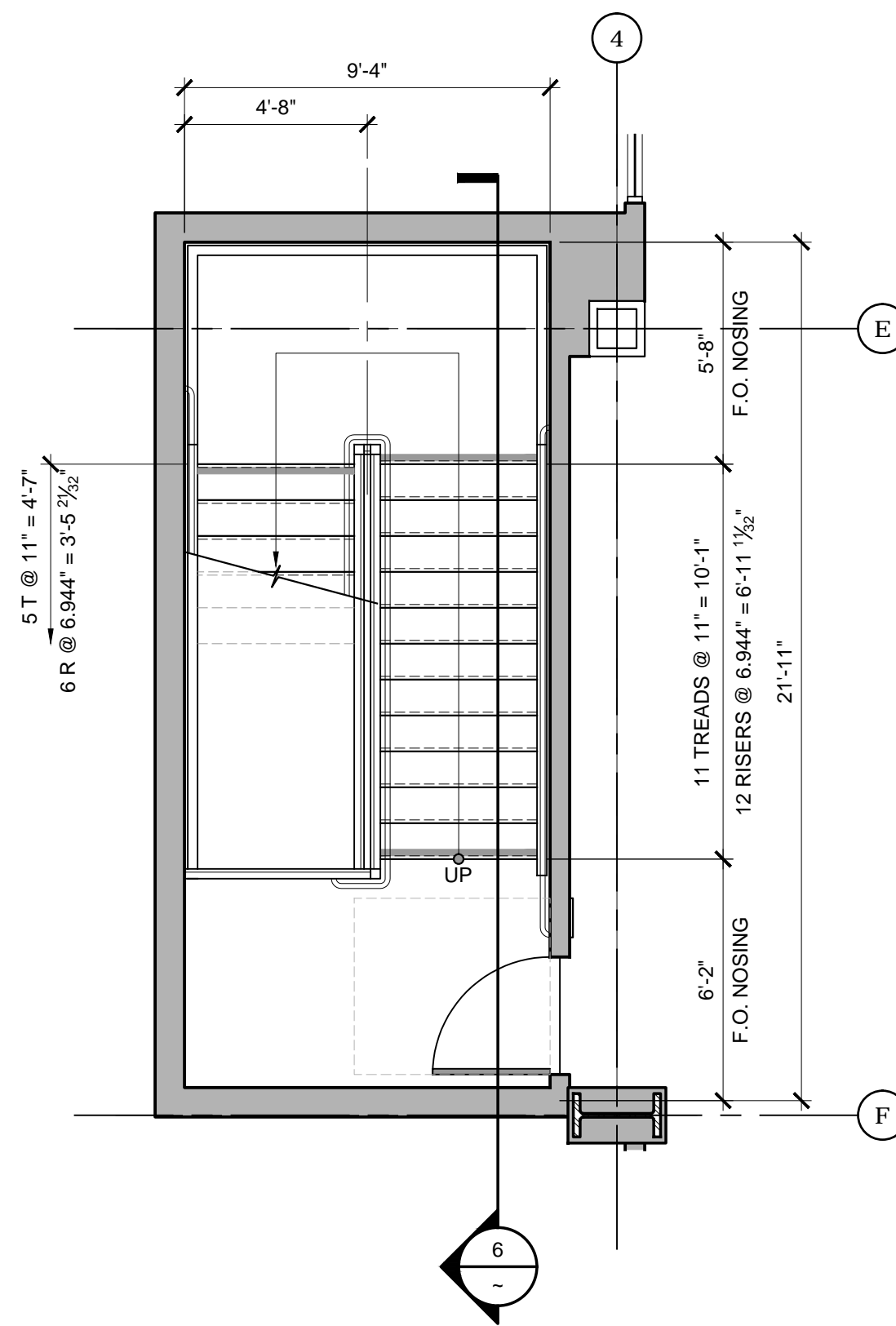
6 STAIR #2 (ST-1)
 SECTION
 SCALE: 1/4" = 1'-0"



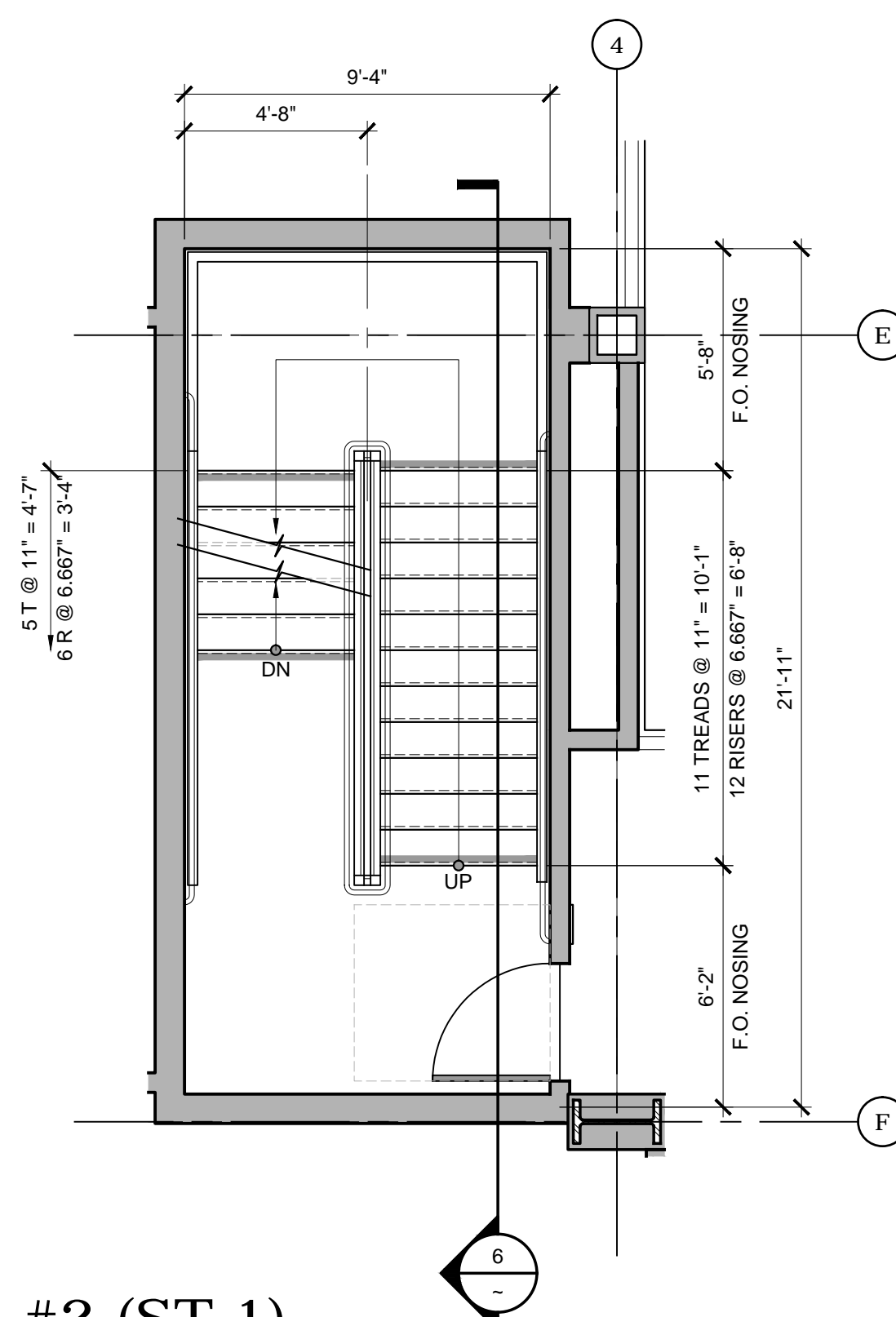
4 STAIR #2 (ST-1)
 FOURTH FLOOR
 SCALE: 1/4" = 1'-0"



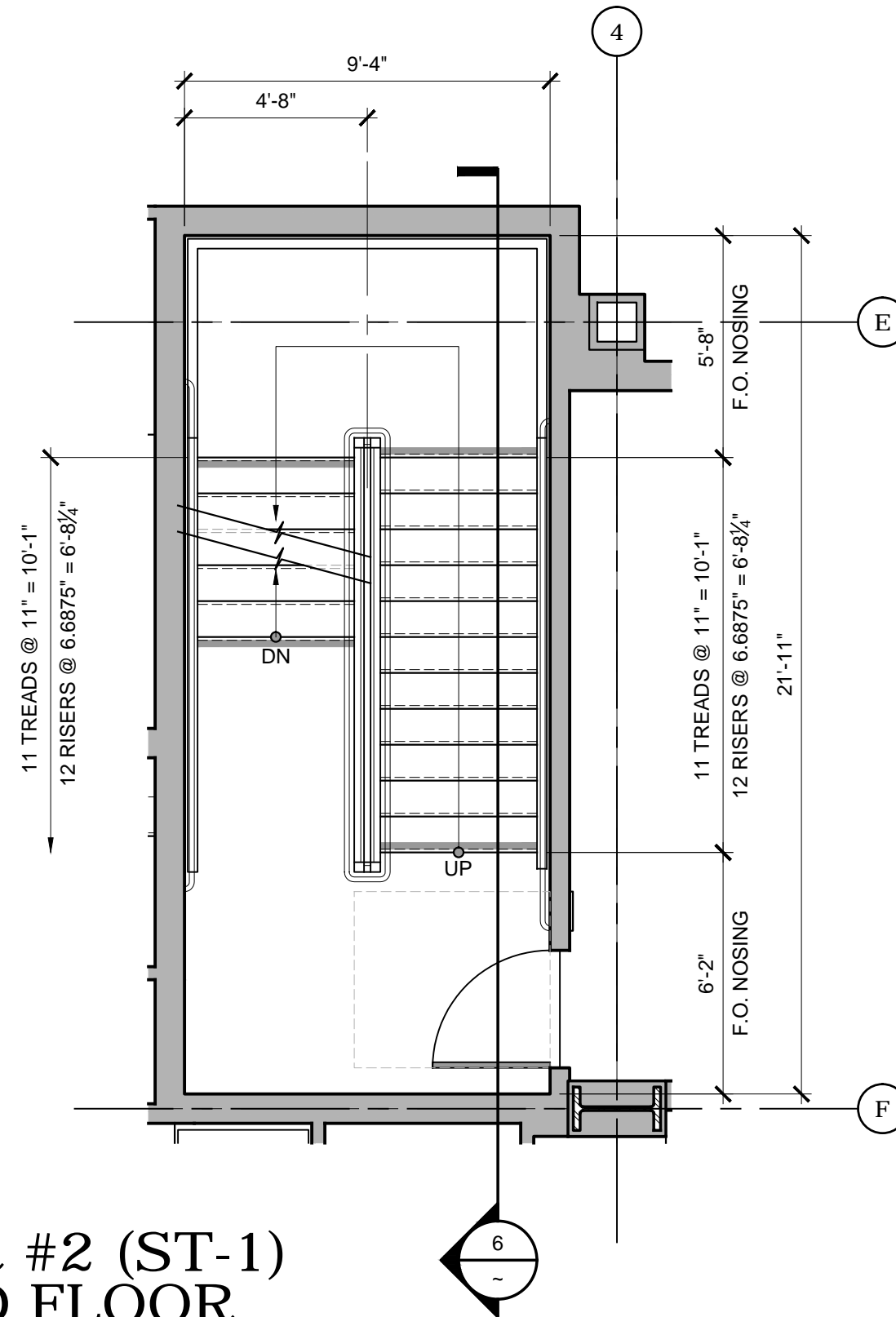
5 STAIR #2 (ST-1)
 PENTHOUSE FLOOR
 SCALE: 1/4" = 1'-0"



1 STAIR #2 (ST-1)
 FIRST FLOOR
 SCALE: 1/4" = 1'-0"



2 STAIR #2 (ST-1)
 SECOND FLOOR
 SCALE: 1/4" = 1'-0"



3 STAIR #2 (ST-1)
 THIRD FLOOR
 SCALE: 1/4" = 1'-0"

GENERAL STAIR NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND EXISTING CONDITIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING ANY WORK.
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- CONTRACTOR SHALL PRIME AND PAINT ALL (N) STEEL STRINGERS, GUARDRAIL, AND HANDRAILS, WITH A HIGH PERFORMANCE EPOXY PAINT FINISH SYSTEM. COLOR TO BE ARCHITECT / OWNER SELECTED.
- CONTRACTOR SHALL PROVIDE BACKING FOR ALL WALL MOUNTED HANDRAIL AS REQUIRED PER JOB CONDITION.
- THE MINIMUM WIDTH OF ALL STAIRWAYS SHALL BE 44 INCHES PER CBC 1009.1.
- THE MINIMUM STAIR RISER HEIGHT IS 4 INCHES, AND THE MAXIMUM ALLOWABLE STAIRWAY RISER HEIGHT IS 7 INCHES PER CBC 1009.4.
- A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN EXIT ENCLOSURES CONNECTING MORE THAN THREE STORIES DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE EXIT ENCLOSURE AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE STAIRWAY FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5 FEET ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITIONS (2010 CFC, 1022.8).
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THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION HEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION IN ANY MEDIUM IN WHICHEVER OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

GENERAL CONTRACTOR:
GOLD COAST DESIGN, INC.
 DEVELOPER:
MONTEREY Capital

APN: 006-173-001
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

THE HOLMAN BUILDING

JOB NO. 14146-P
 PRINT DATE: 11.2.2015
 PLOT DATE: 11.2.2015
 DRAWN BY:
 CHECKED BY:
 SET ISSUED:

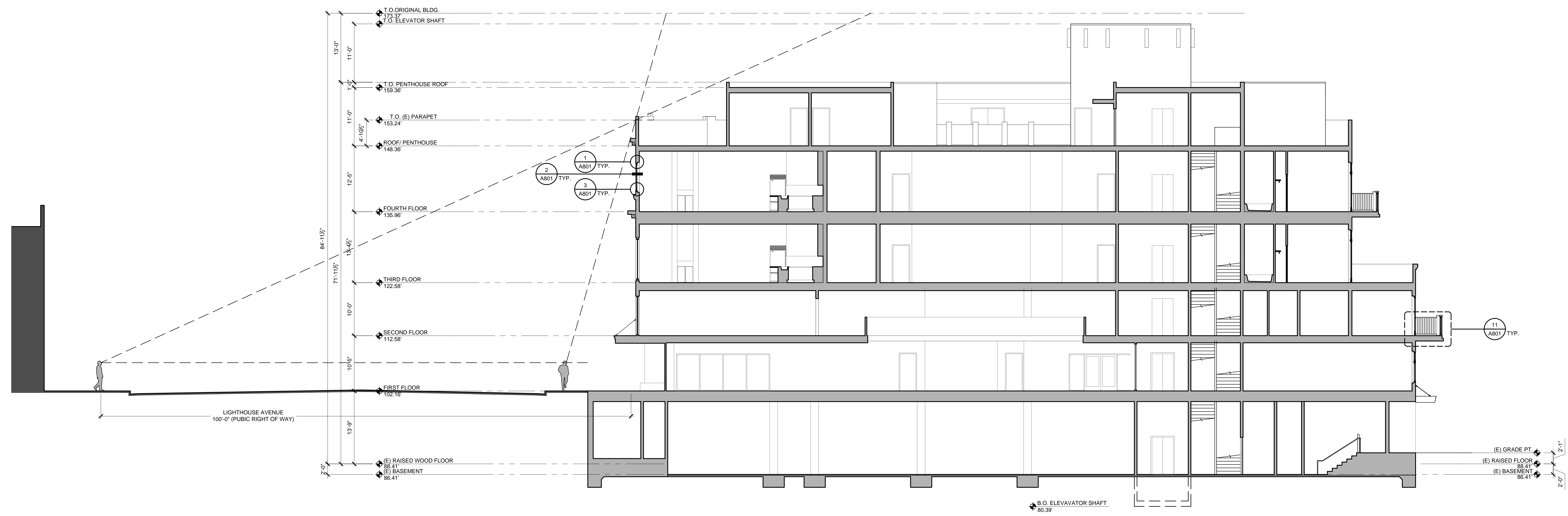
10.05.15 PLANNING RESUBMITTAL
 11.02.15 PLANNING RESUBMITTAL

SHEET NAME:
BUILDING SECTIONS

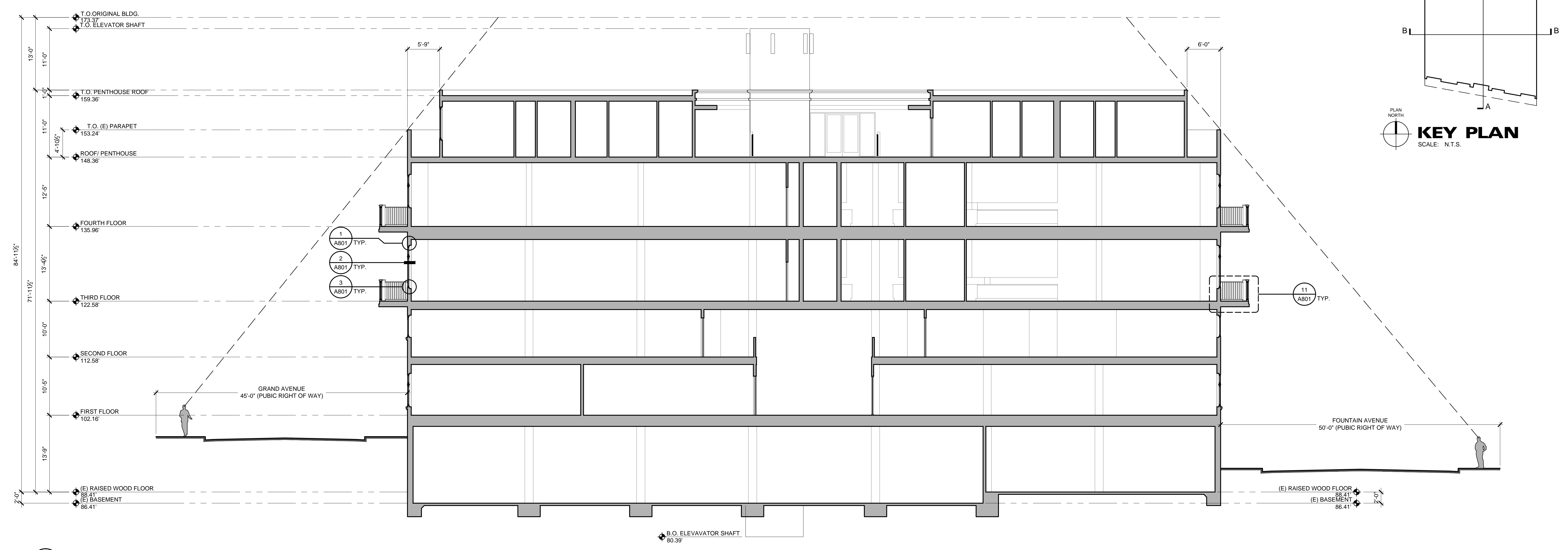
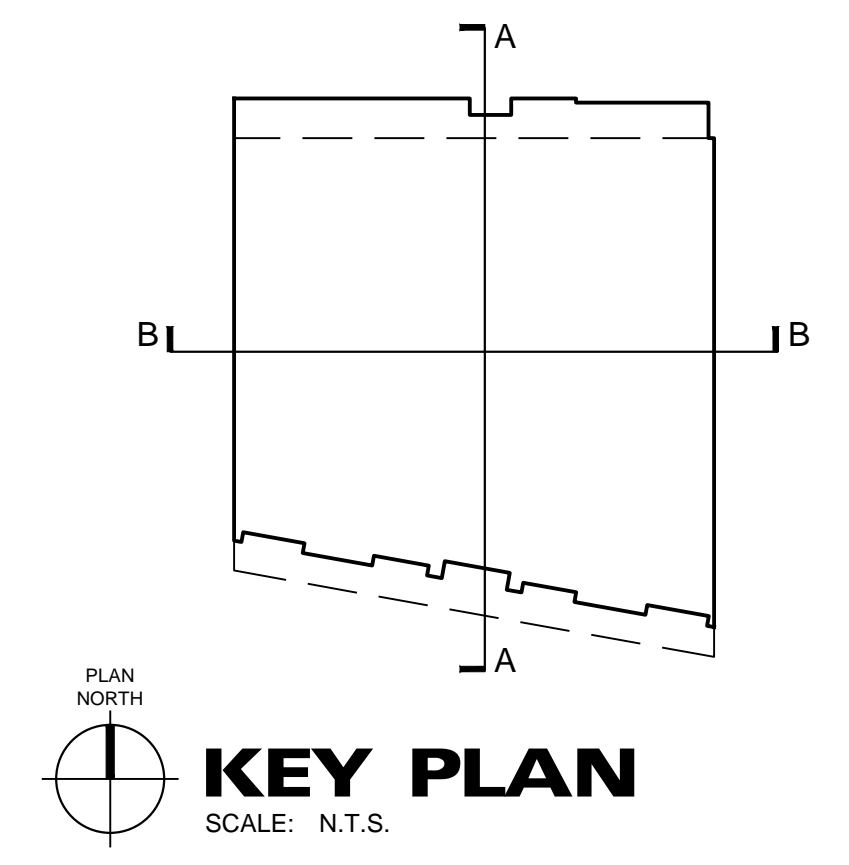
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A701

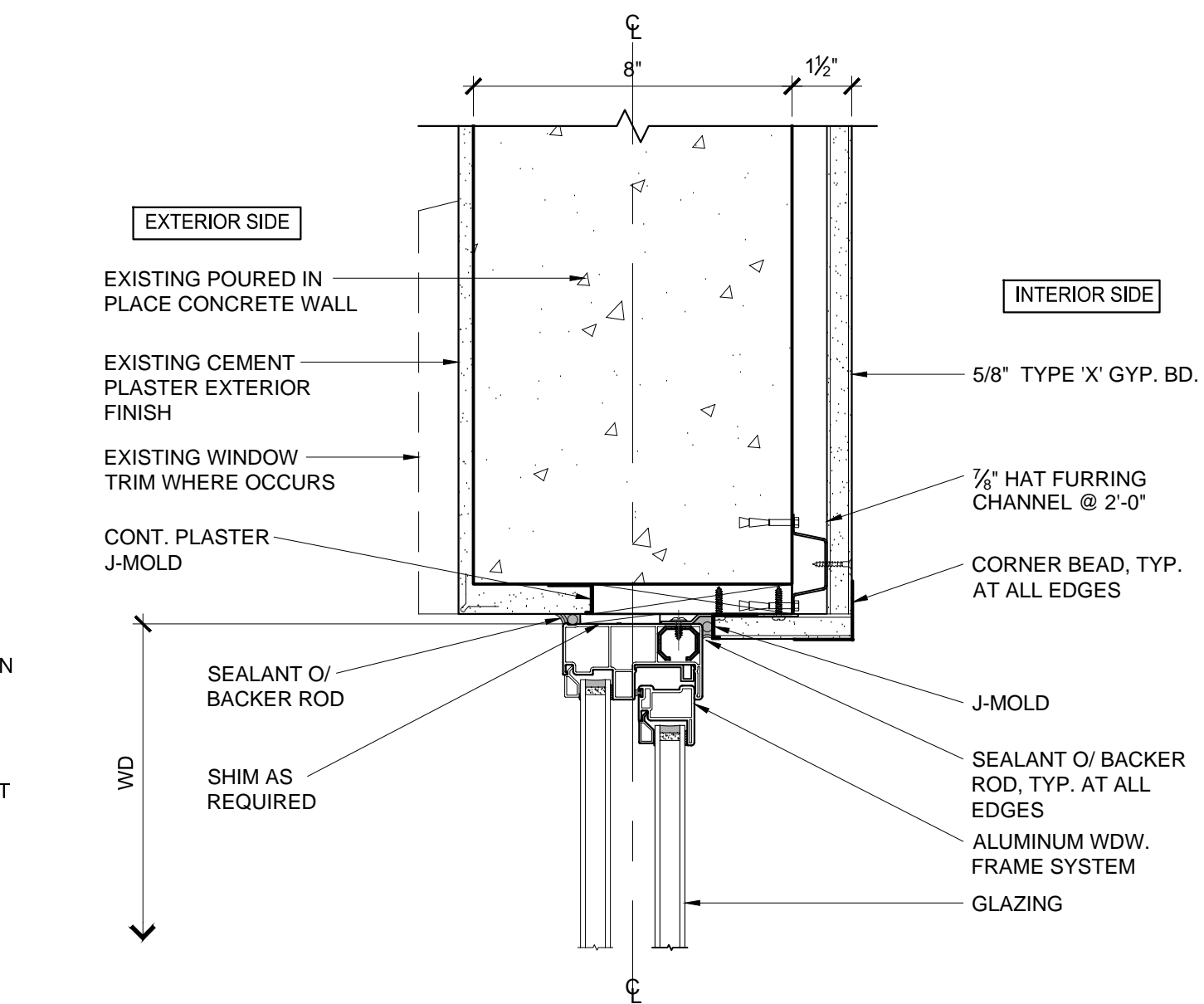
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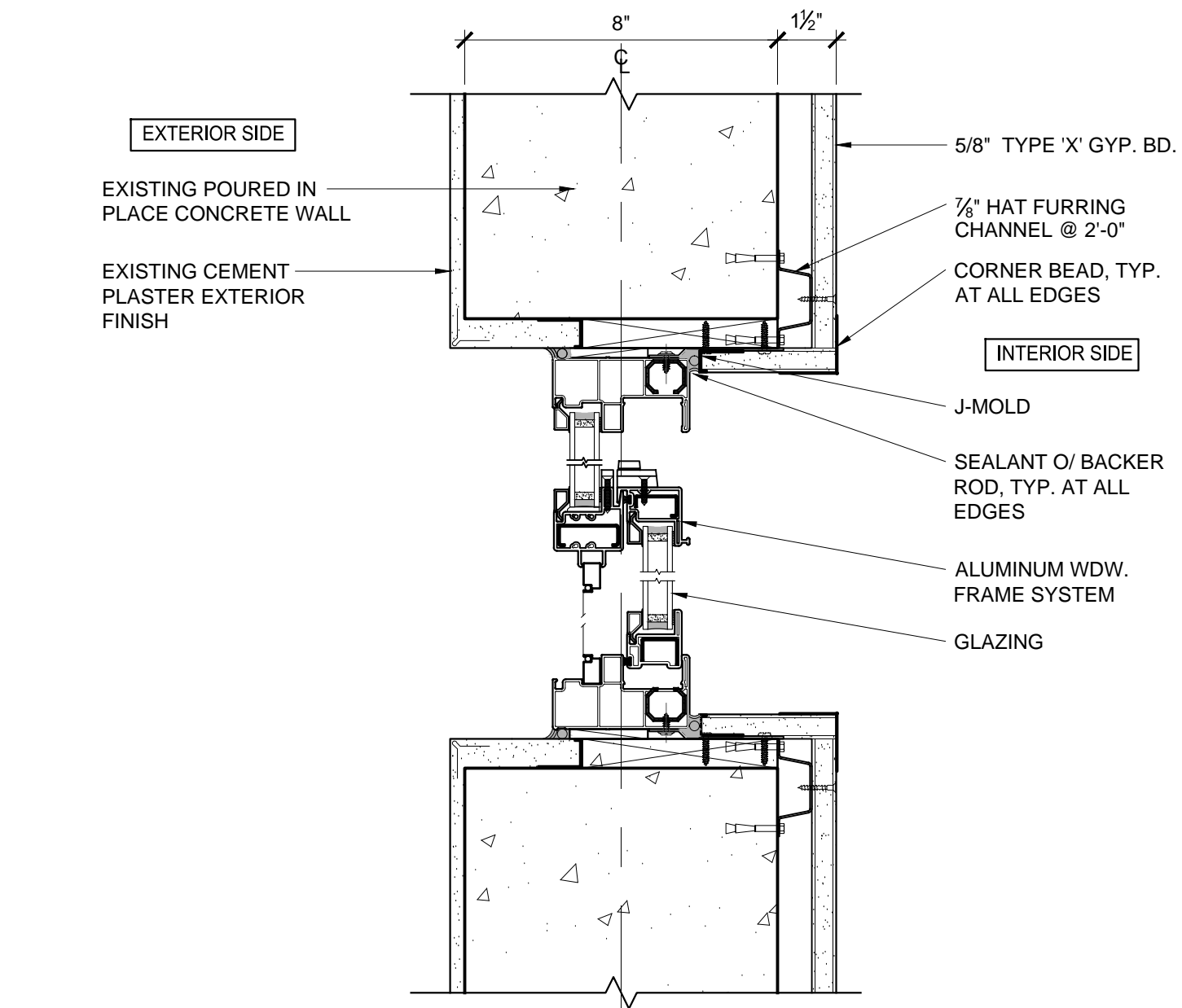
1 SECTION A-A
 SCALE: 1/8" = 1'-0"



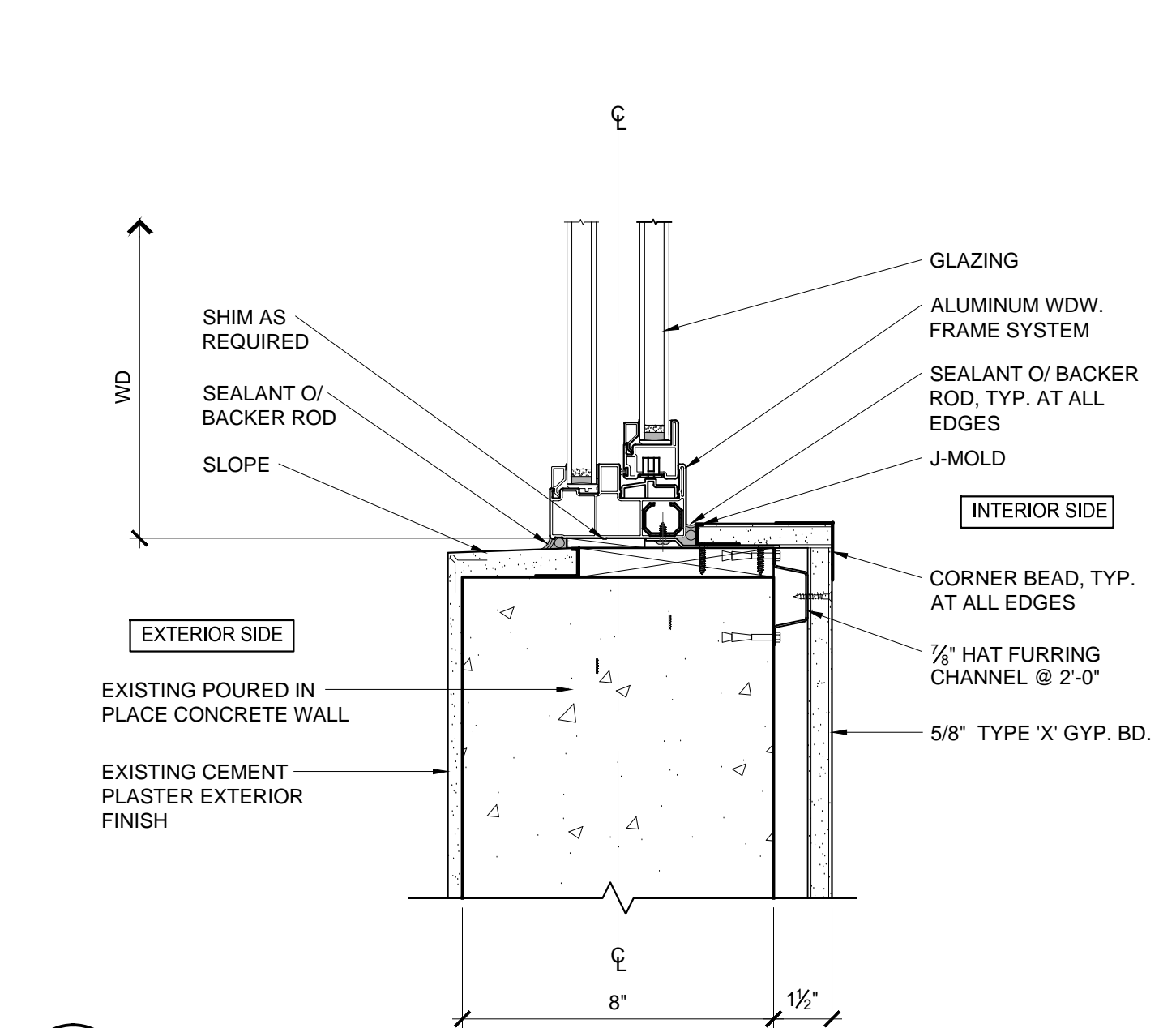
2 SECTION B-B
 SCALE: 1/8" = 1'-0"



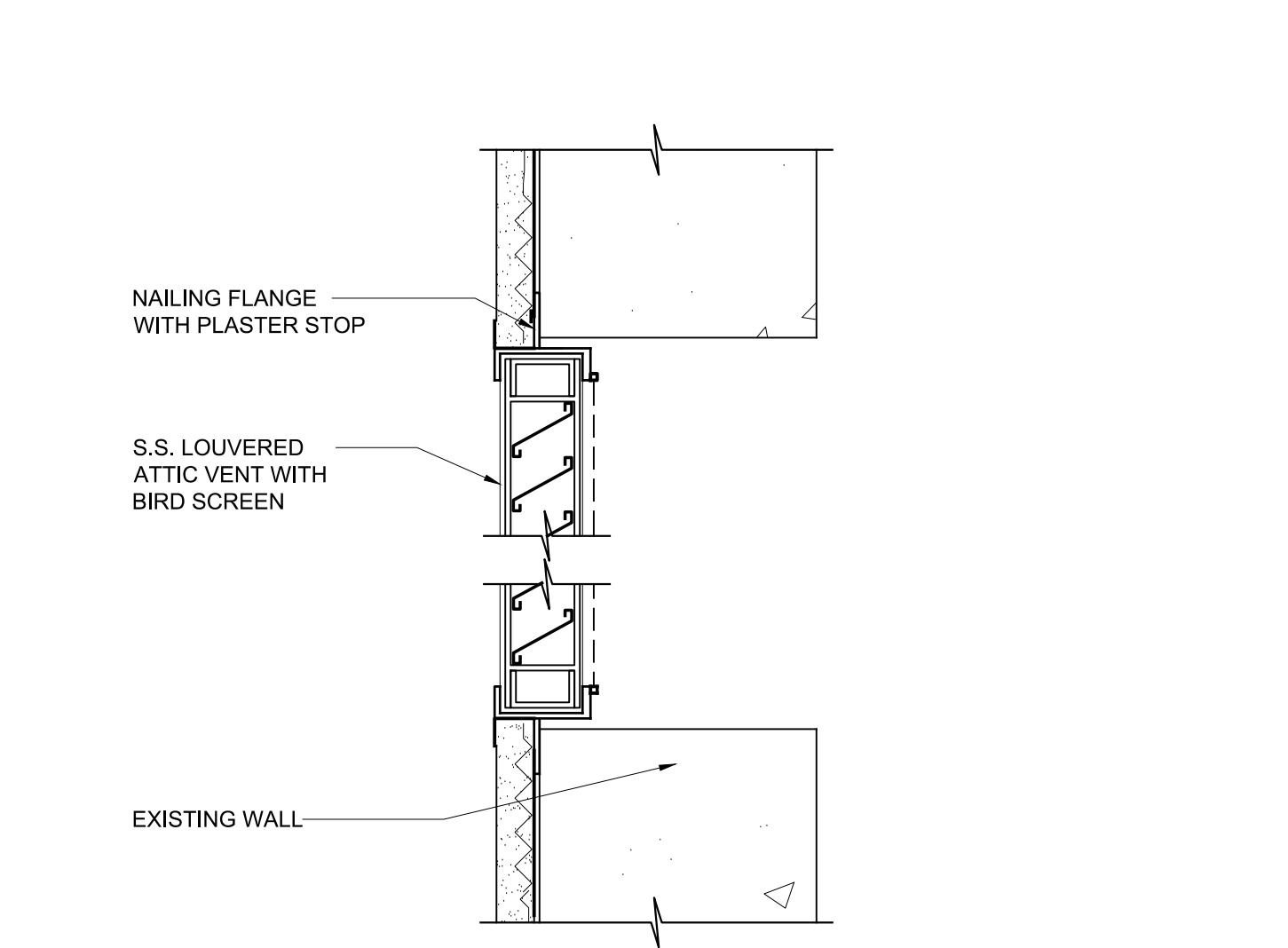
1 TYP. WINDOW HEAD
SCALE: 3" = 1'-0"



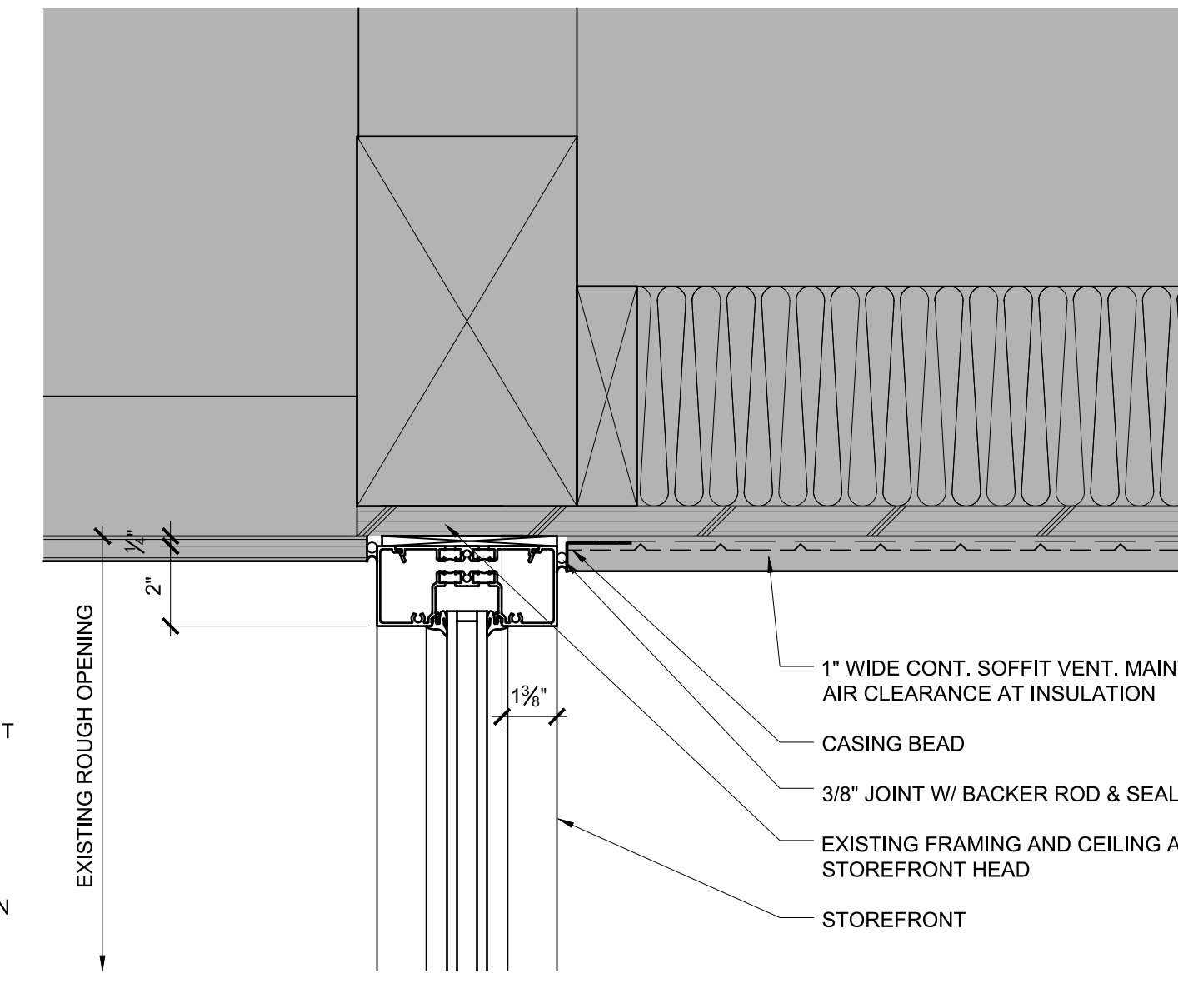
2 TYP. WINDOW JAMB
SCALE: 3" = 1'-0"



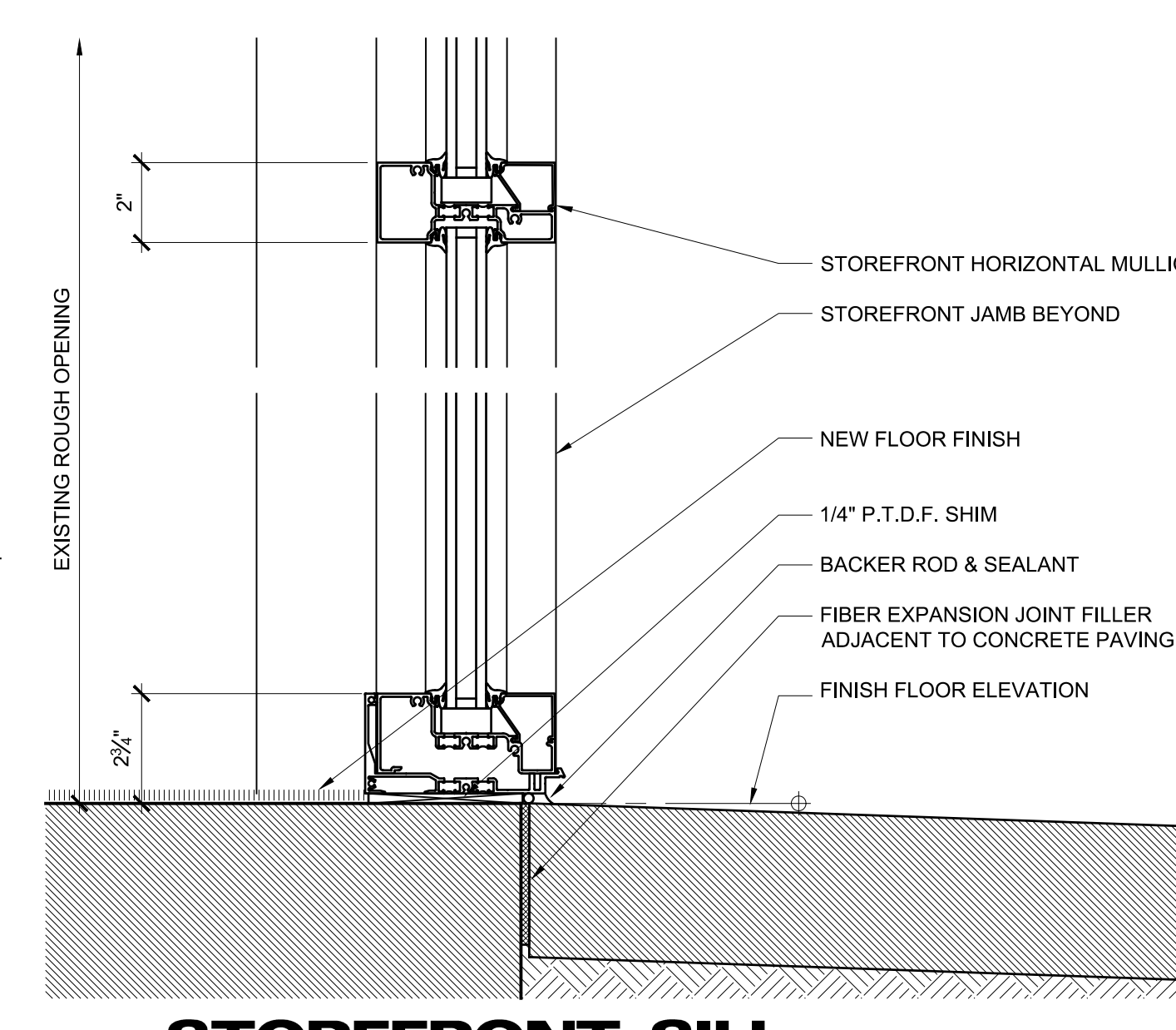
3 TYP. WINDOW SILL
SCALE: 3" = 1'-0"



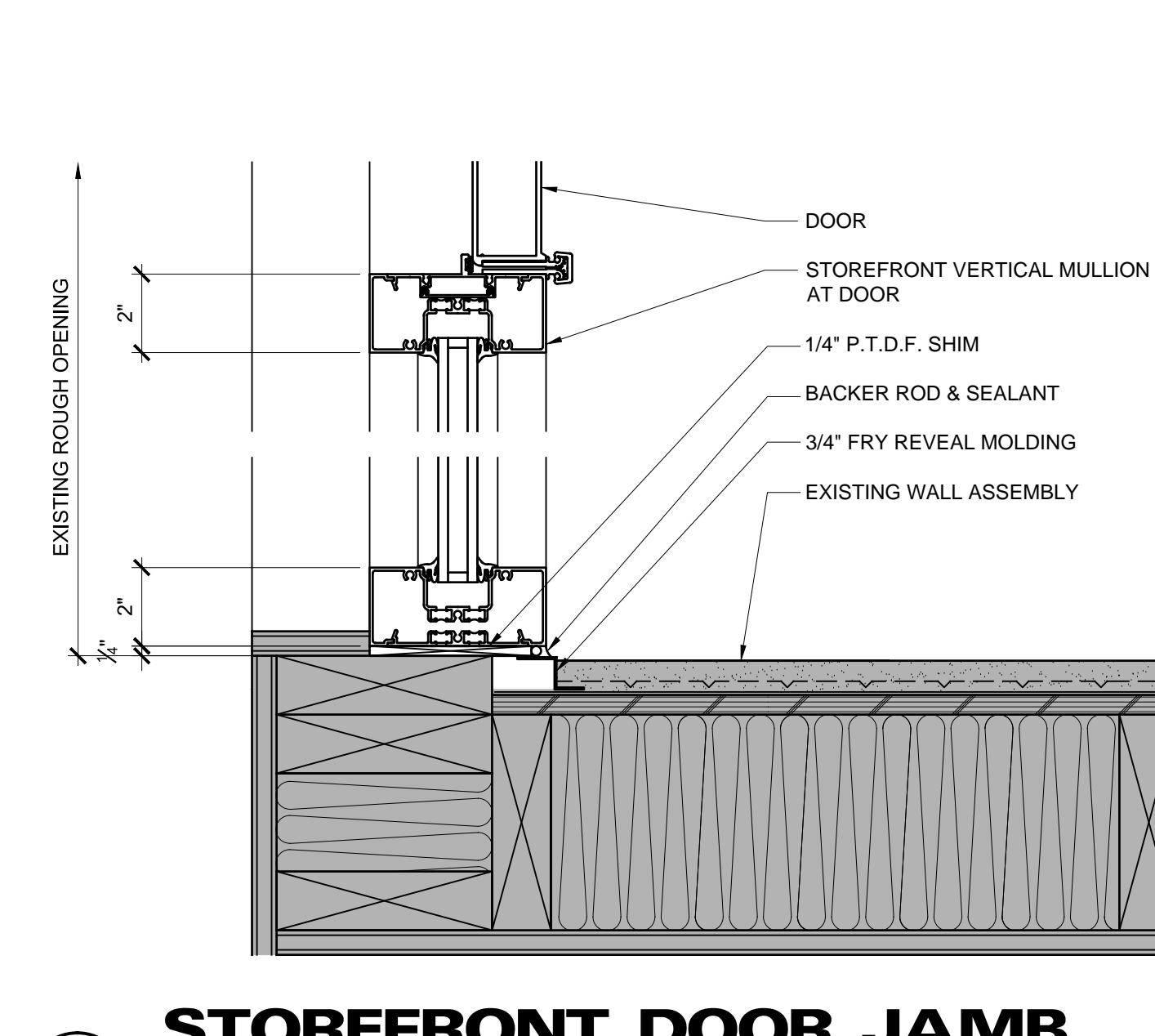
4 S.S. AIR INTAKE EXHAUST VENT, TYP. EXT. LOUVERS
SCALE: 3" = 1'-0"



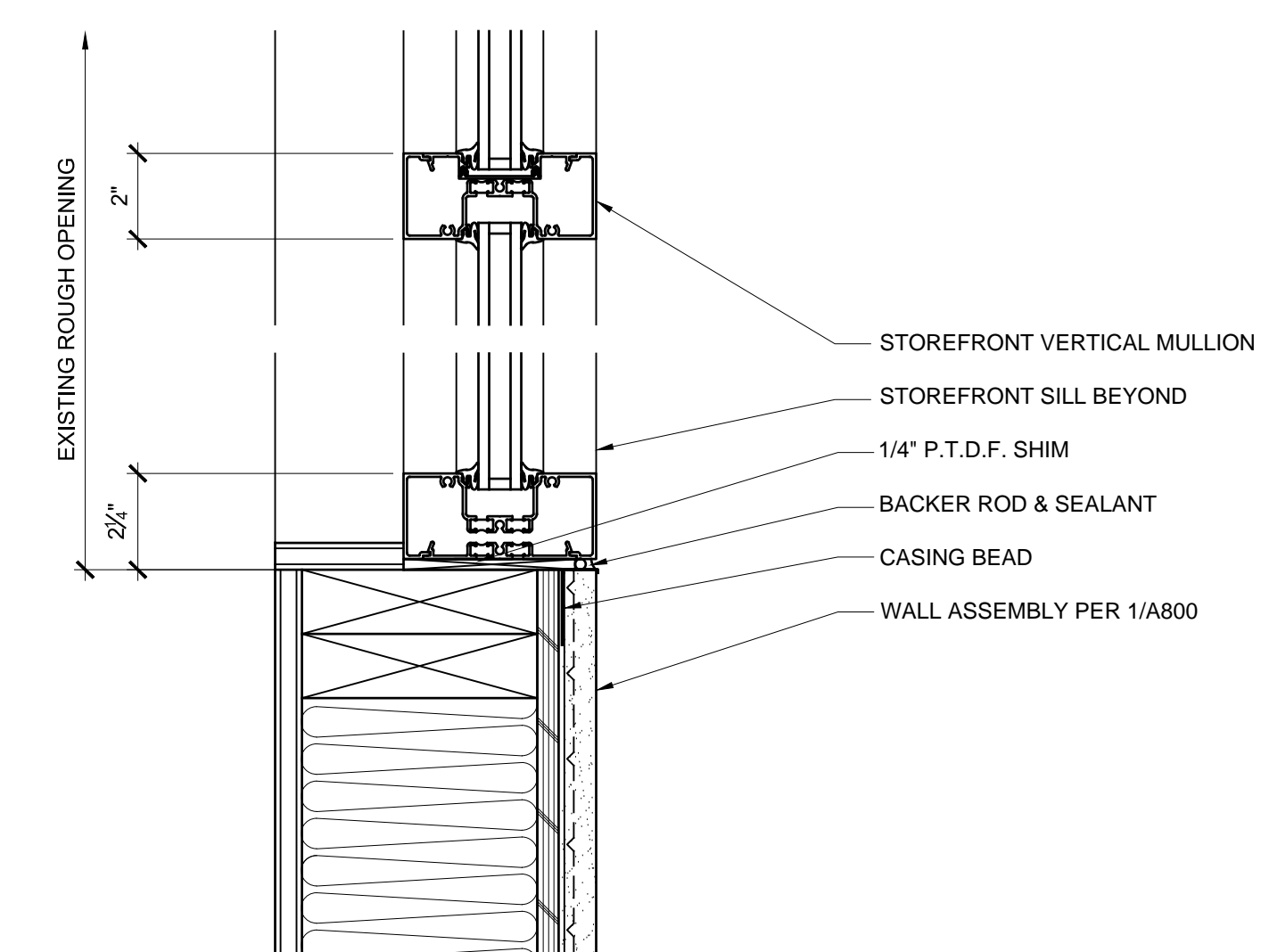
5 STOREFRONT HEAD
SCALE: 3" = 1'-0"



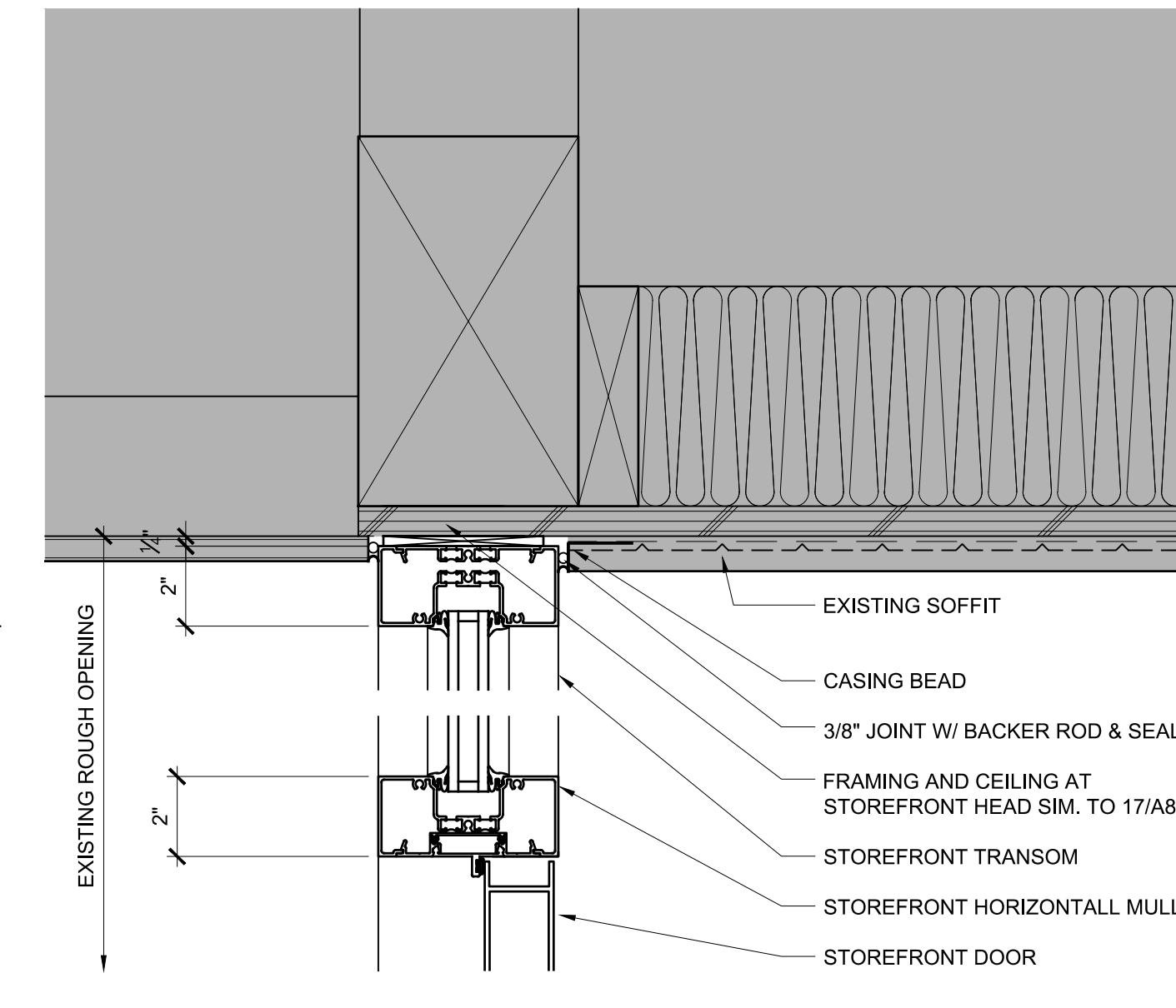
6 STOREFRONT SILL AND MULLION
SCALE: 3" = 1'-0"



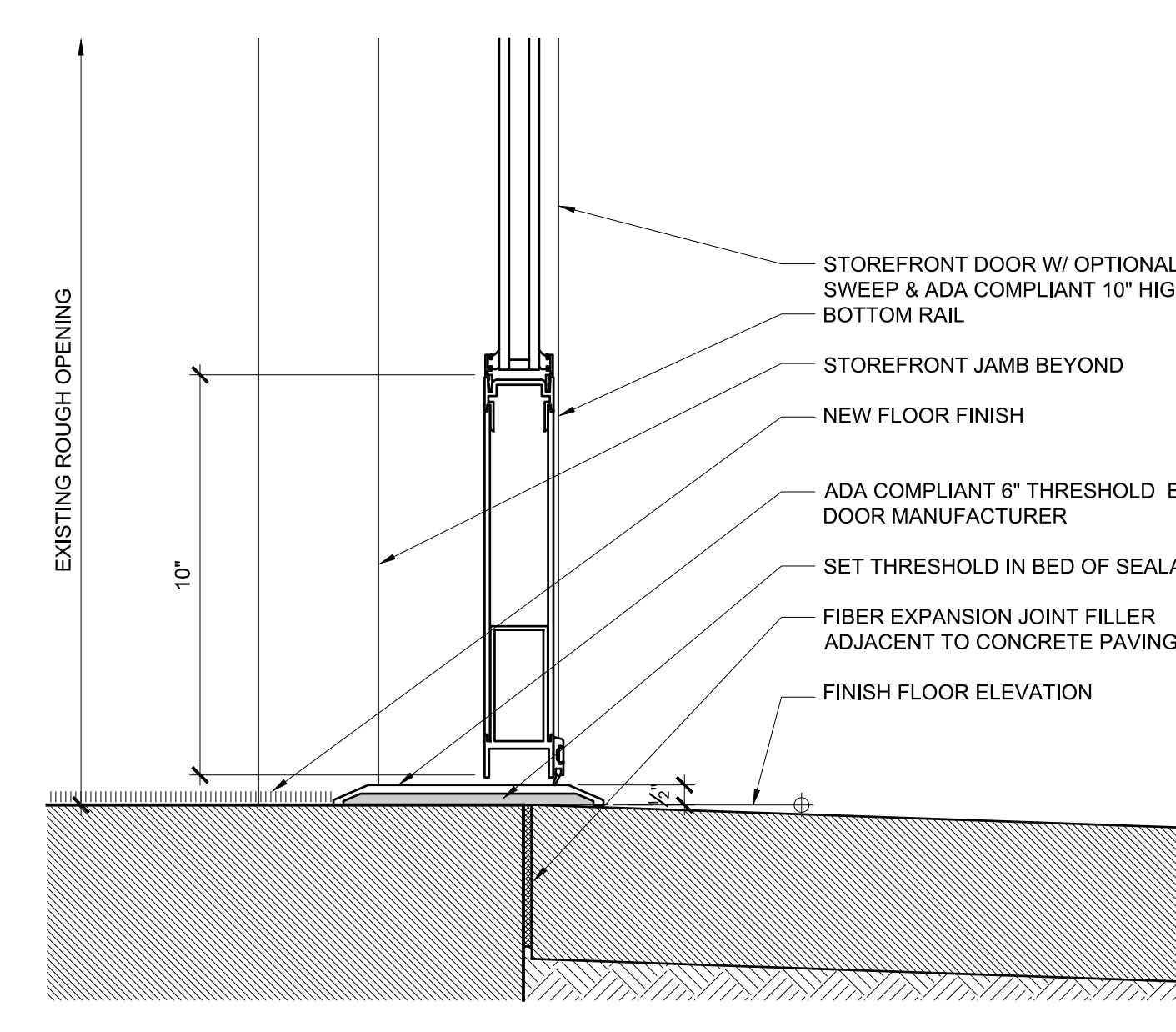
7 STOREFRONT DOOR JAMB AT SIDE WALL
SCALE: 3" = 1'-0"



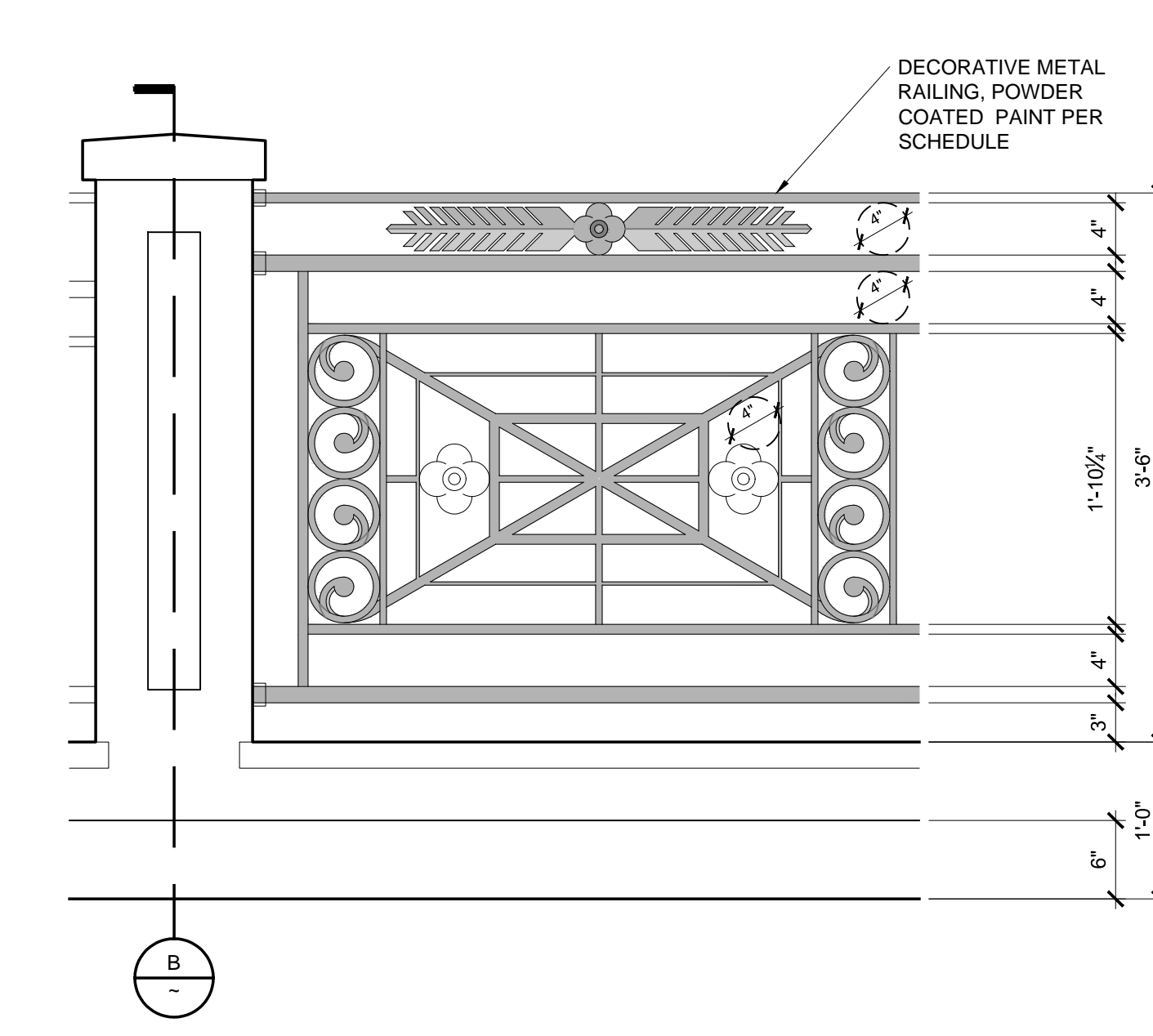
8 STOREFRONT JAMB AND MULLION
SCALE: 3" = 1'-0"



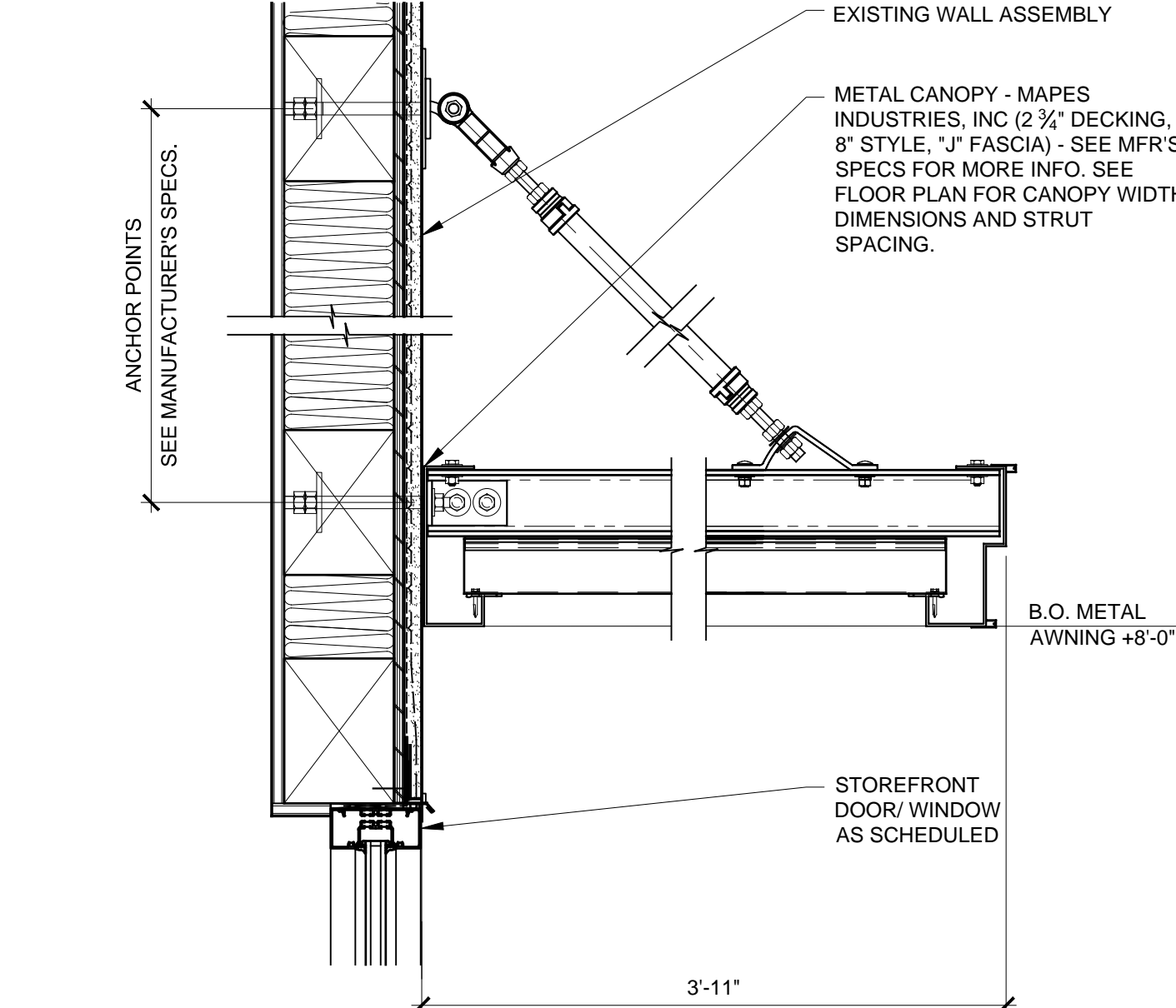
9 STOREFRONT DOOR HEAD
SCALE: 3" = 1'-0"



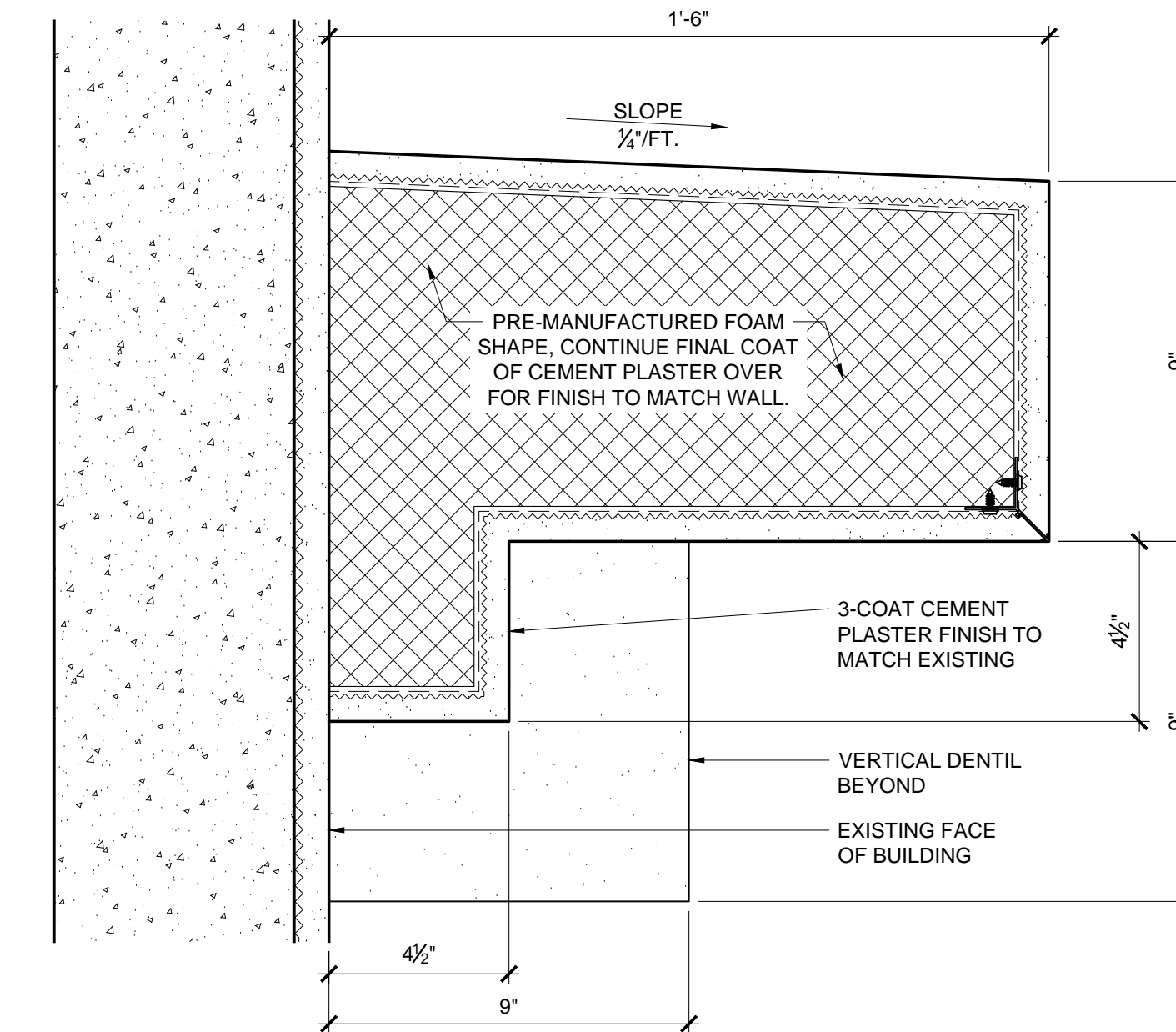
10 STOREFRONT DOOR SILL
SCALE: 3" = 1'-0"



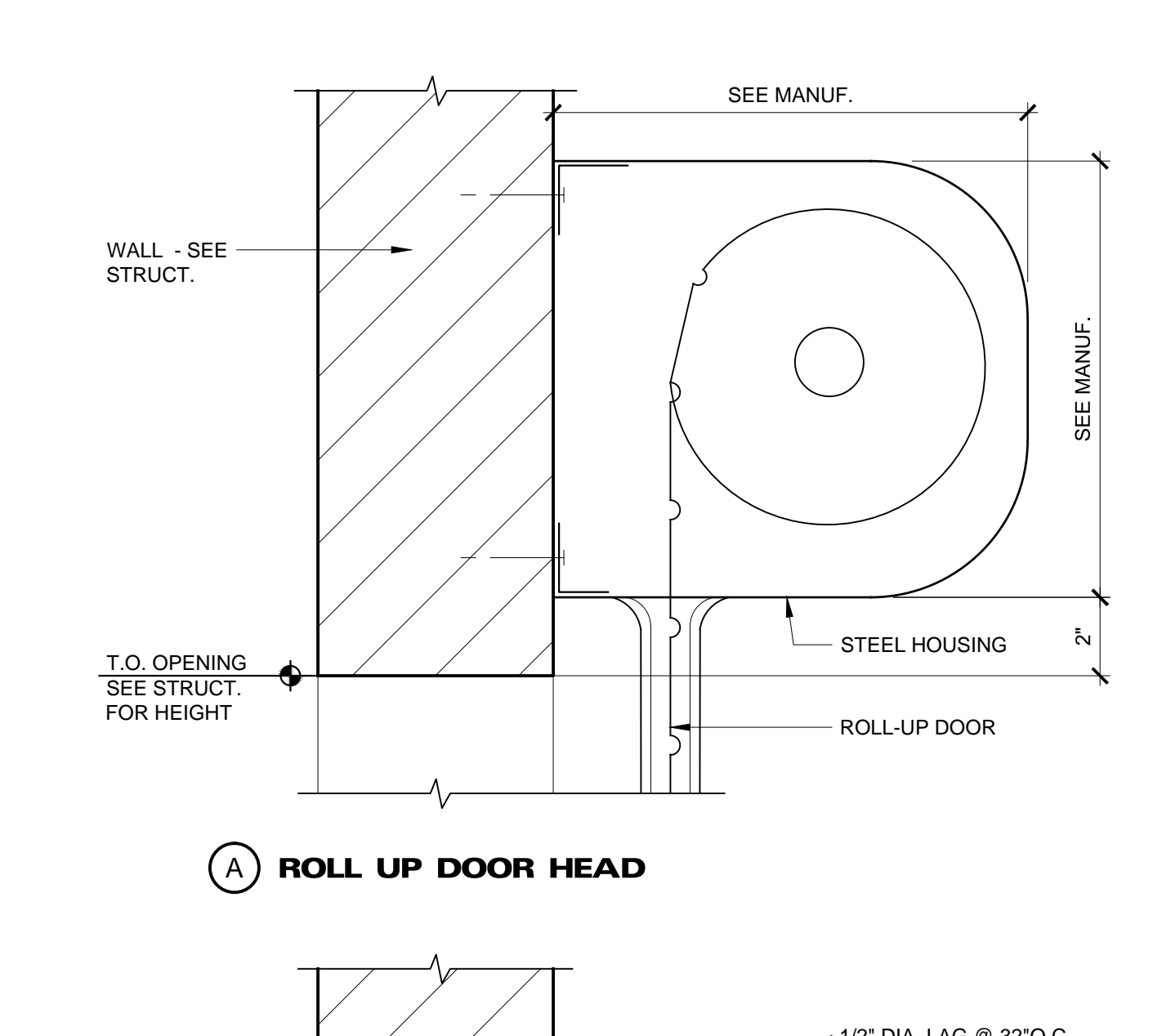
11 BALCONY DETAILS
SCALE: 1" = 1'-0"



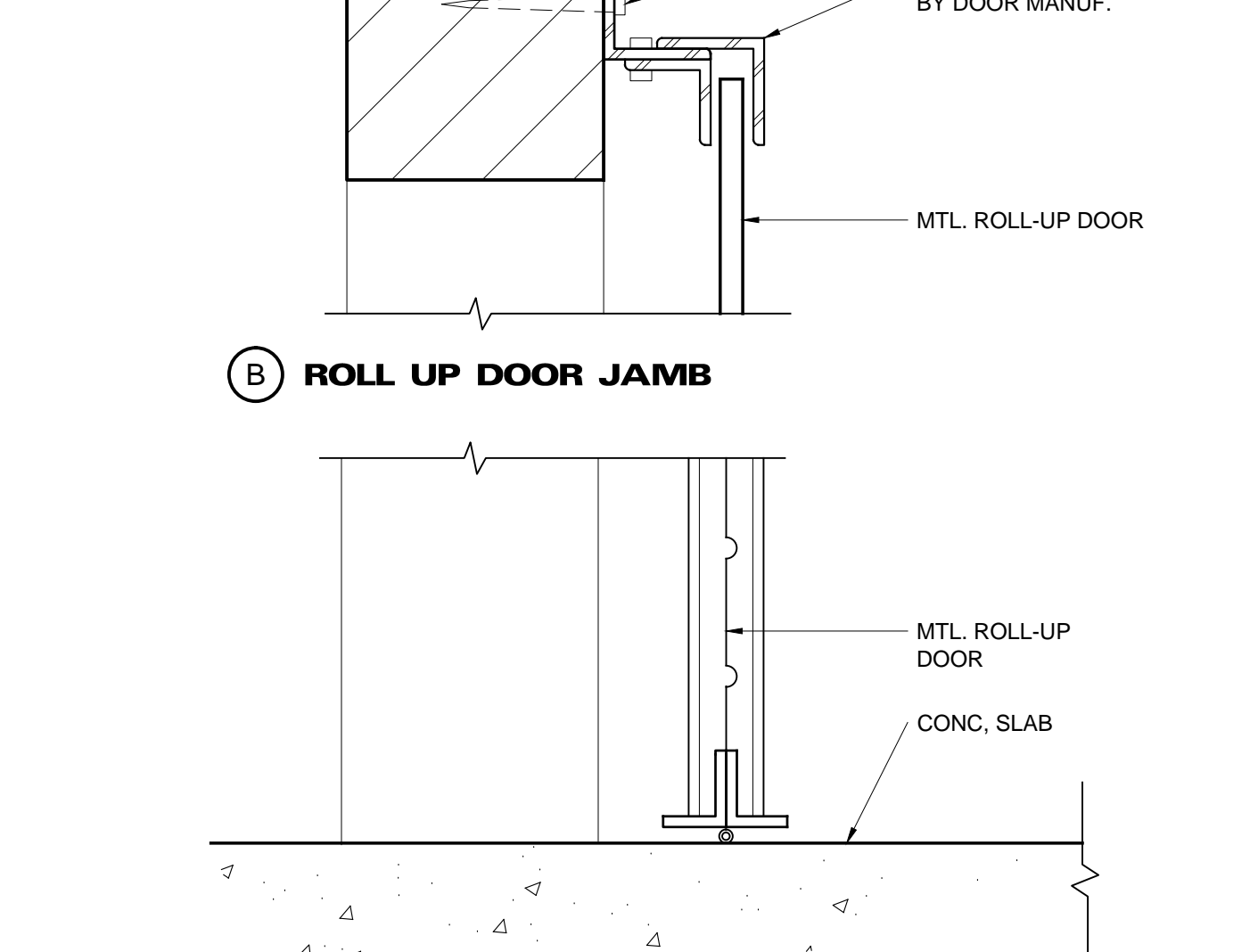
12 METAL AWNING AT ENTRY
SCALE: 1 1/2" = 1'-0"



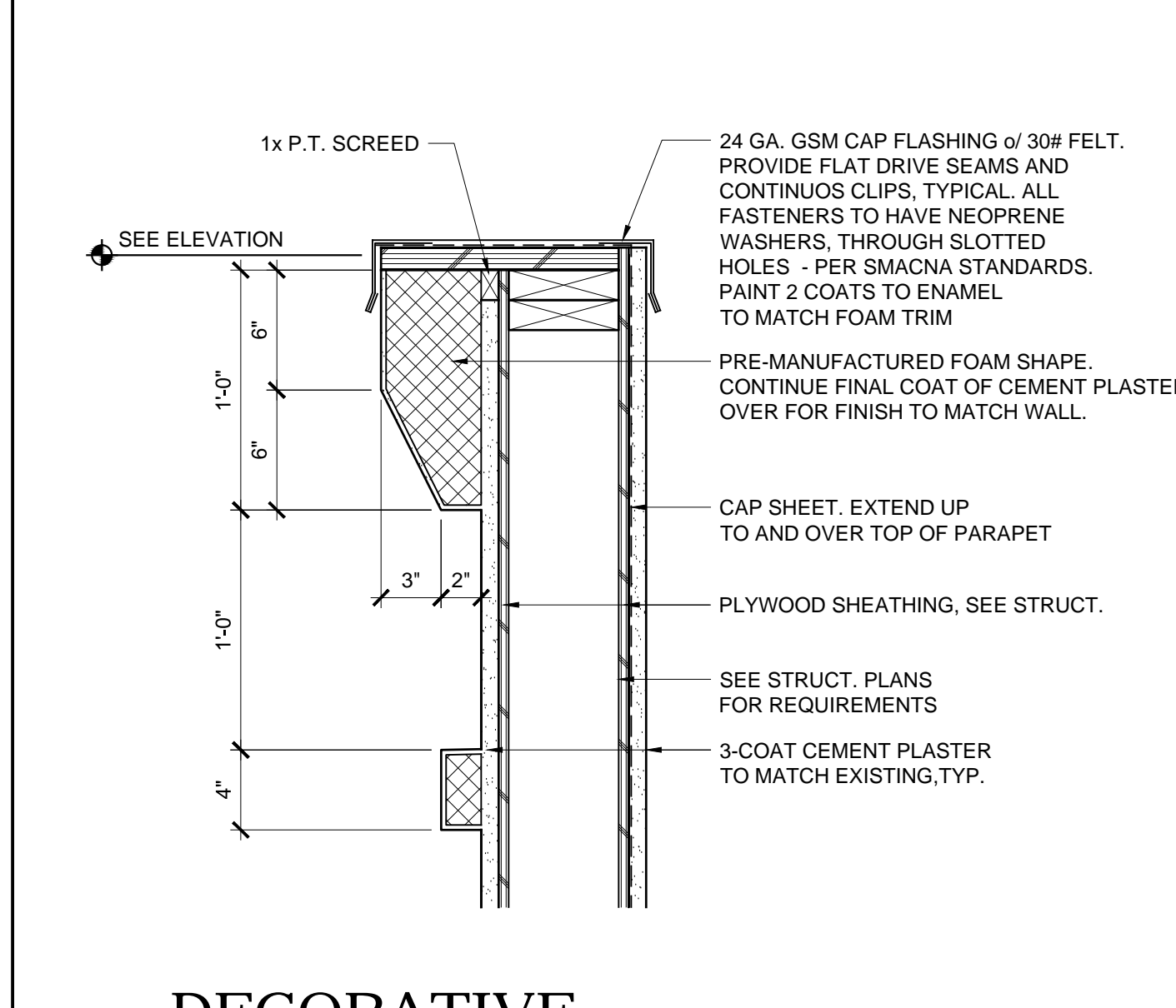
13 DECORATIVE WALL TRIM
SCALE: 3" = 1'-0"



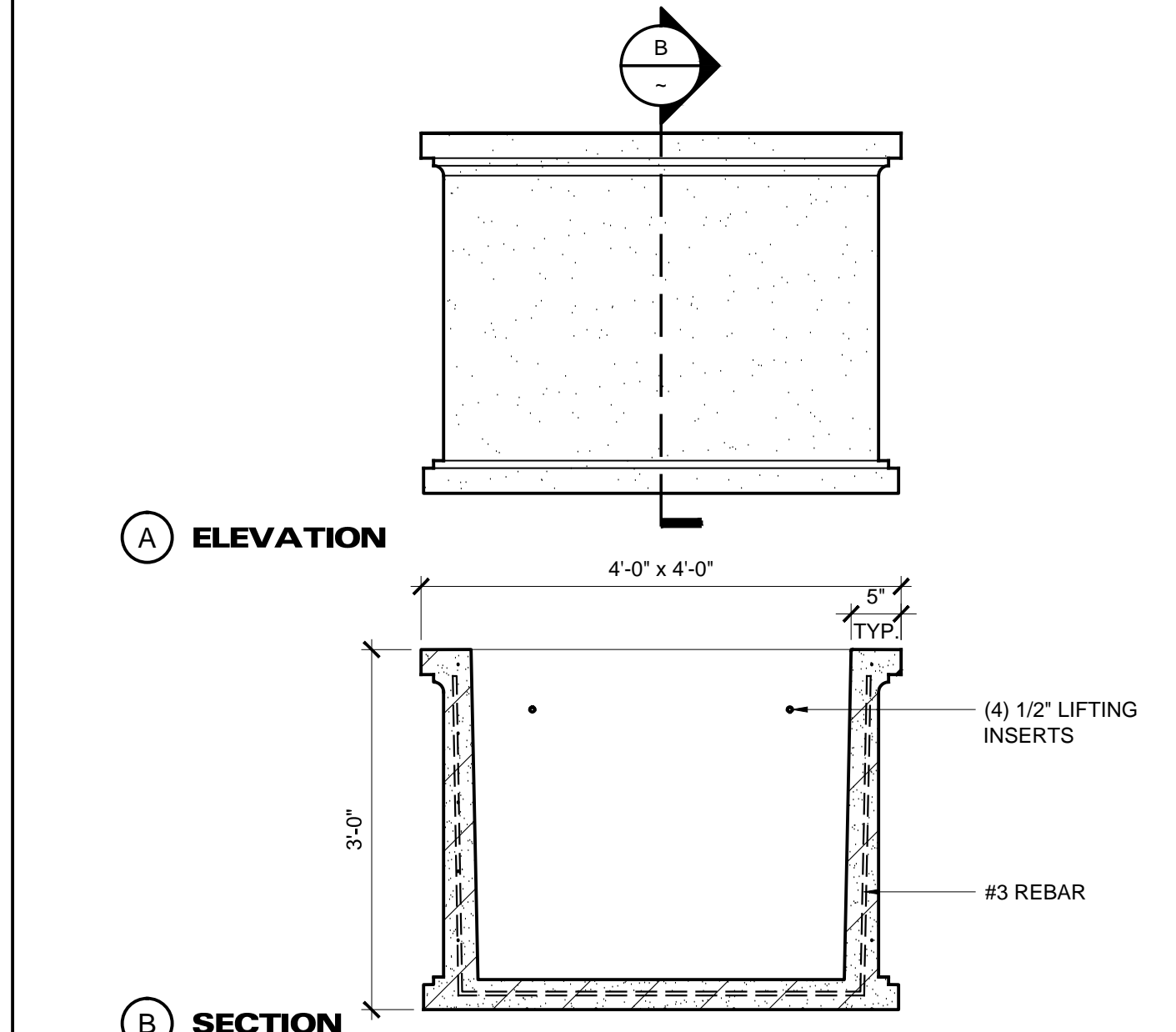
14 GARAGE ROLL UP DOOR DETAILS
SCALE: 3" = 1'-0"



16 CONCRETE TREE PLANTER
SCALE: 1" = 1'-0"



15 DECORATIVE TRIM AT PARAPET
SCALE: 1 1/2" = 1'-0"



16 CONCRETE TREE PLANTER
SCALE: 1" = 1'-0"